



OSSO STUDIO

NOT FOR CONSTRUCTION

WINTER ST ADU

44 WINTER ST
NORTHFIELD, VT

DATE : 12/09/2024
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OSSO STUDIO

SCHEMATIC
DESIGN

DEMOLITION
PLANS

D1

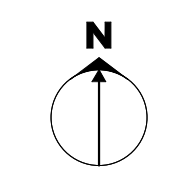
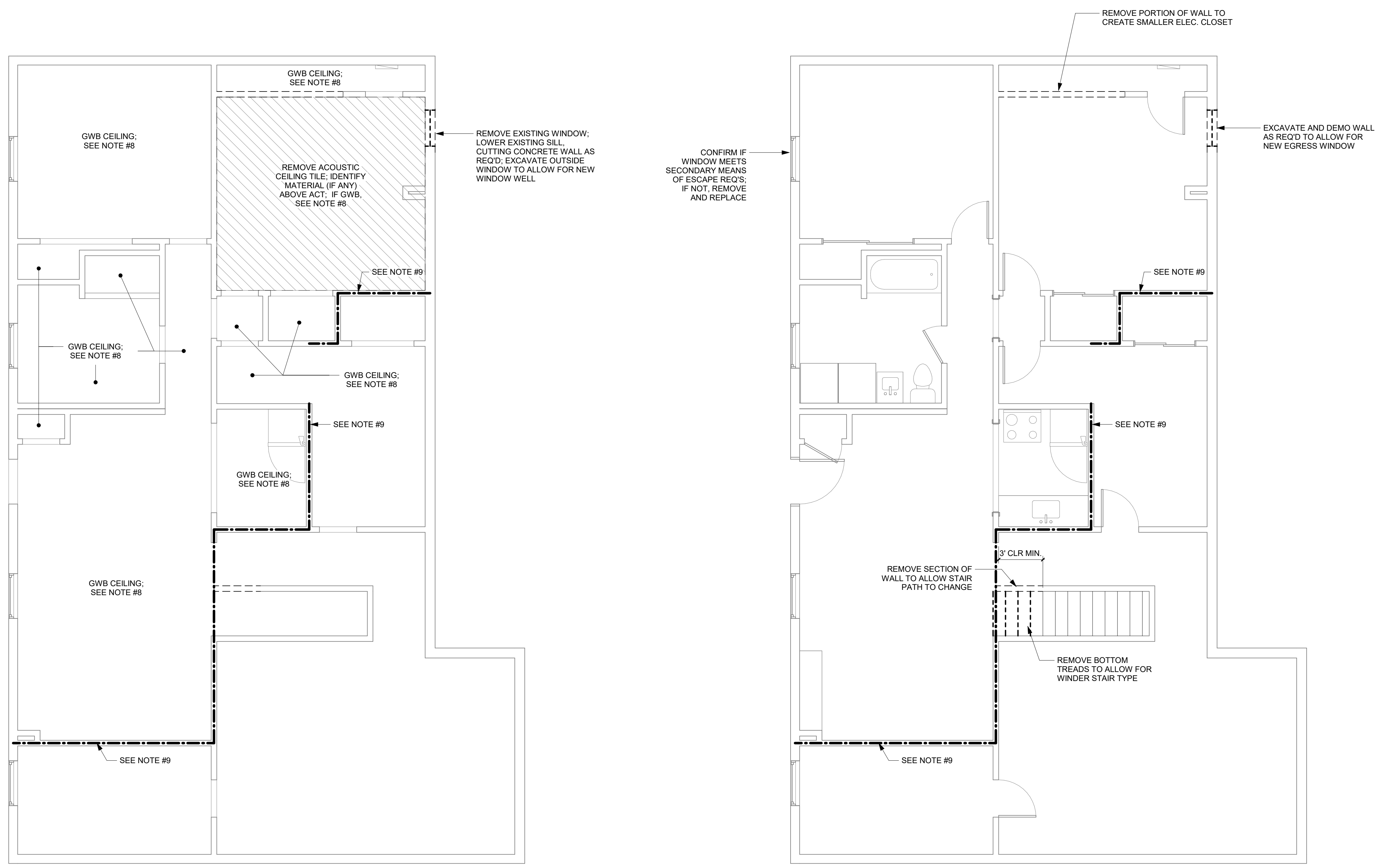
GENERAL NOTES - DEMOLITION

1. REMOVE ALL EXISTING CONSTRUCTION AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. NECESSARY DISCONNECTS AND ALTERATIONS TO MECHANICAL AND ELECTRICAL SYSTEMS INCLUDED.
2. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. REPAIR, PATCH, AND PAINT AS NEEDED, SURFACES WHICH ARE TO REMAIN BUT HAVE BECOME SOILED OR DAMAGED BY THE WORK, TO LIKE NEW CONDITION.
3. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSAL OF MATERIAL IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER DISPOSITION AND REMOVAL OF ANY COMPONENT OF SALVAGEABLE VALUE.
4. ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS.
5. PROTECT ALL EXISTING STRUCTURE, SYSTEMS, FINISHES, AND GENERAL CONSTRUCTION THAT ARE TO REMAIN THROUGHOUT THE COURSE OF THE WORK TO PREVENT DAMAGE OR LOSS.
6. CONTRACTOR IS TO VERIFY UTILITY LINE LOCATIONS AND MAINTAIN THOSE THAT SERVE OTHER PARTS OF THE BUILDING OR SITE THAT ARE NOT AFFECTED BY THE DEMOLITION.
7. DEMOLITION CONTRACTOR WILL ARRANGE FOR SHUT OFF OF EXISTING UTILITIES AS REQUIRED.
8. CONTRACTOR TO DETERMINE THE THICKNESS OF THE GYPSUM WALL BOARD CEILINGS. 5/8" GWB REQUIRED FOR 1 HR RATING IN CEILING/FLOOR ASSEMBLY BETWEEN UNITS.
9. REMOVE WALL FINISH MATERIAL AS REQUIRED TO ENSURE 1 HR RATE ASSEMBLY CAN BE OBTAINED AND CONTINUOUS.
10. REMOVE FINISH FLOORING IN ALL ADU (UNIT 2) SPACES.

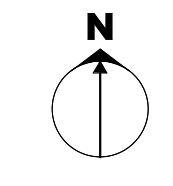
DEMOLITION KEY

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED
- EXISTING FLOOR/CEILING TO BE DEMOLISHED

KEYNOTES



2 BASEMENT RCP
Scale: 1/4" = 1'-0"



1 BASEMENT FLOOR PLAN
Scale: 1/4" = 1'-0"



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SCHEMATIC DESIGN

PLANS

A1

CEILING MATERIAL KEY	
	GYPSUM WALL BOARD
	WOOD BOARD CEILING

LEGEND	
	1-HOUR FIRE BARRIER
	2-HOUR FIRE BARRIER
	EXTERIOR EXIT
	INTERIOR EXIT

CEILING FIXTURE KEY	
	RECESSED/SPOT LIGHT FIXTURE
	STRIP/LINEAR LIGHT FIXTURE
	LINEAR FIXTURE CONCEALED FROM VIEW
	WALL MOUNT LIGHT FIXTURE
	EXHAUST FAN
	ACCESS PANEL
	SMOKE ALARM
	OCCUPANCY SENSOR

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL WORK PERFORMED CONFORMS WITH ALL FEDERAL, STATE, AND LOCAL CODES.
- ALL DIMENSIONS SHOWN ARE TO STRUCTURAL GRID OR FACE OF STUD, UNLESS NOTED OTHERWISE.
- ALL WINDOW AND DOOR LOCATION DIMENSIONS ARE REFERENCED TO THE CENTER OF THE WINDOW/DOOR. REFERENCE SHEET A6.0 FOR MORE DIMENSIONAL INFORMATION.
- PROVIDE NEW ENERGY STAR, TOP FREEZER REFRIGERATOR, ELECTRIC COOKTOP AND OVEN.
- INSTALL NEW FINISH FLOORING THROUGHOUT THE ADU. LVP IN LIVING, KITCHEN, HALL, CARPET IN BEDROOMS. SHEET VINYL IN BATHROOM.
- REPAINT EXISTING SHEETROCK TO REMAIN WITH (1) COAT OF PAINT. NEW SHEETROCK TO RECEIVE (1) COAT PRIMER AND (2) COATS OF PAINT.
- EXISTING WINDOWS TO REMAIN UNLESS DAMANGED.
- EXISTING DOORS TO REMAIN UNLESS DAMAGED
- EXISTING CABINETS AND COUNTERTOPS TO REMAIN.
- MAINTAIN 1HR FIRE RATED PARTITION BETWEEN UNITS FOR WALLS AND CEILING; FIRE CAULK PENETRATIONS, CRACKS ETC AS REQUIRED TO MAINTAIN CONTINUITY.
- NEW BEDROOM WINDOW MUST MEET SECONDARY MEANS OF ESCAPE REQUIREMENTS; MAX SILL HEIGHT OF 44" ABOVE FFE. INSTALL EXTERIOR WINDOW WELL COMPLIANT WITH NFPA 101 GUIDELINES FOR SECONDARY MEANS OF ESCAPE.

KEYNOTES

SCOPE OF WORK: ELECTRICAL

- MOVE AND REPLACE BREAKER PANEL FOR SECOND FLOOR/MAIN UNIT TO ACCOMMODATE BREAKER ACCESS FOR RESIDENTS. NEW PANEL TOBE LOCATED IN THE EXISTING LAUNDRY ROOM AND EXISTING CIRCUITS REROUTED.
- REPLACE UNIT 2 BREAKER PANEL AT EXISTING LOCATION.
- REWIRE UNIT 2 AS NEEDED FOR NEW KITCHEN. CHANGES TO LAYOUT, SMOKE DETECTION, RECEPTACLES AND LIGHTING TO CODE.
- MOVE EXISTING LAUNDRY OUTLETS OUT OF CABINETS TO MEET CODE.
- IF ADDITIONAL GWB IS REQUIRED ON THE CEILING TO CREATE 1 HR BARRIER, REMOVE CEILING FIXTURES AND ADD 5/8" JUNCTION BOX EXTENSIONS.
- ALTERNATE: UPGRADE METER SOCKET TO 2X100 METER PACK FOR SEPARATE METERING.

SCOPE OF WORK: PLUMBING / MECHANICAL

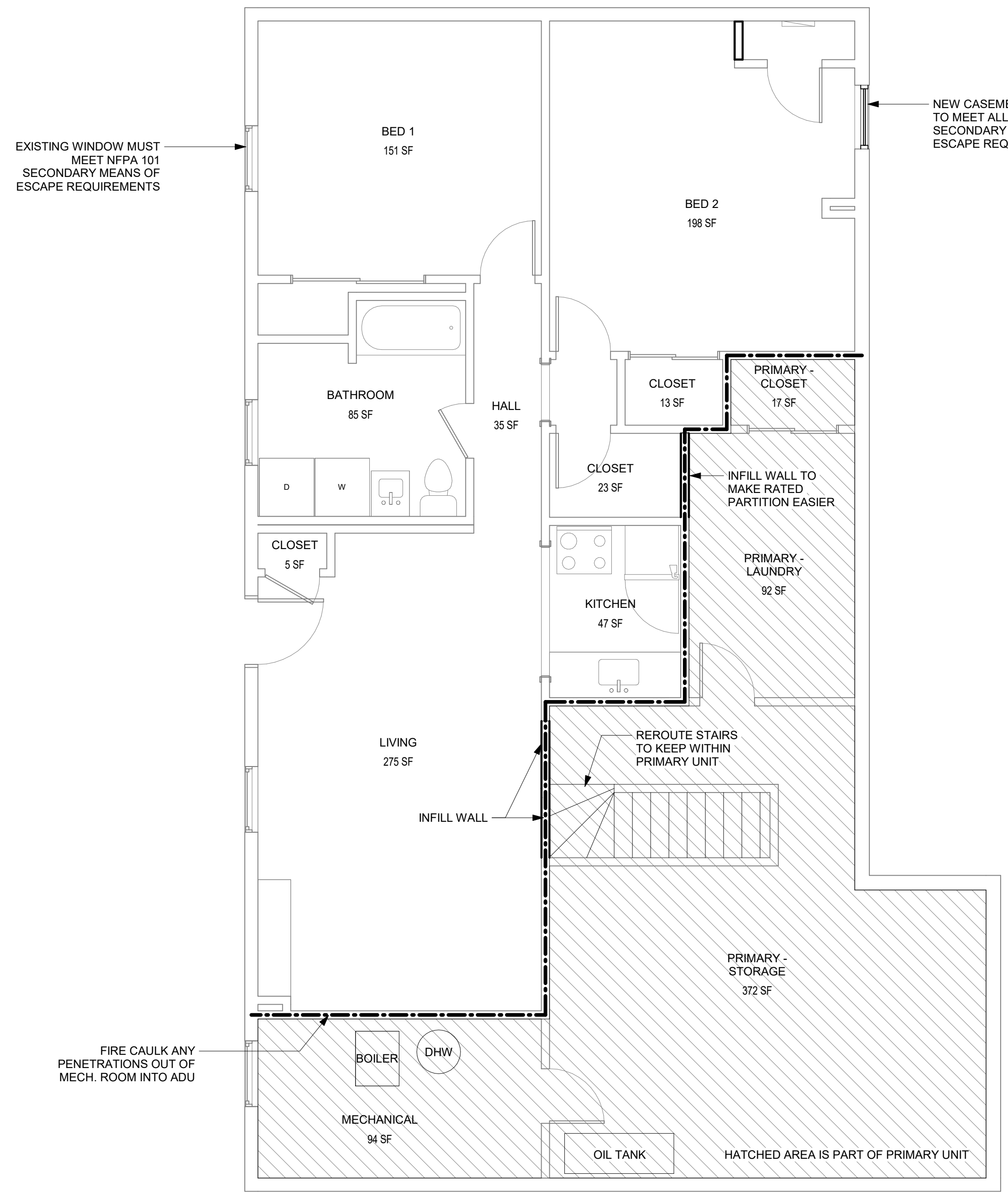
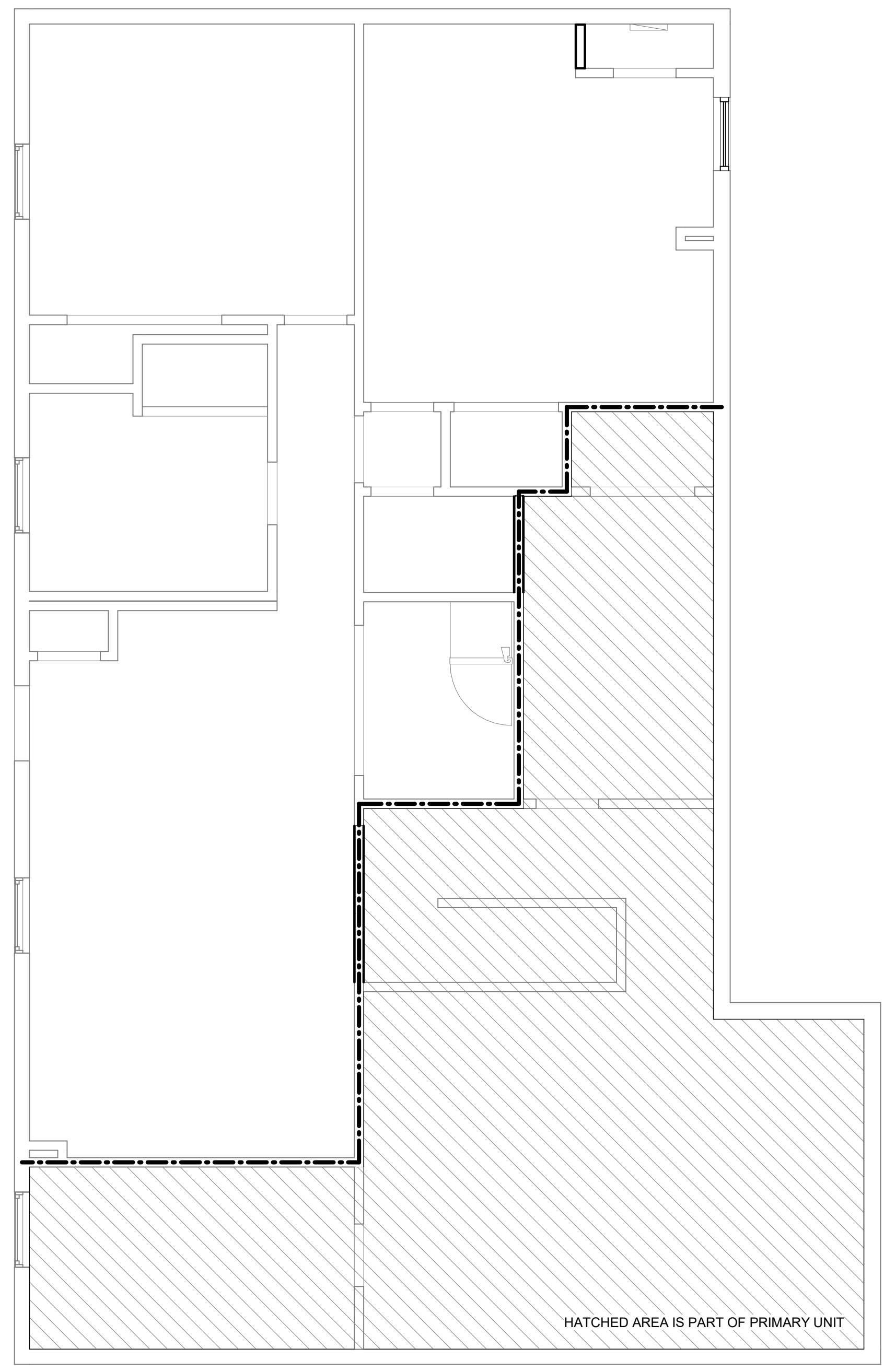
- REPLACE KITCHEN PUMP STATION AND DRAINAGE. RUN NEW LINE TO STACK (BY EXISTING LAUNDRY) THROUGH DROP CIELING.
- SEPERATE HEAT ZONE AND CHANGE BOILER CONTROLS TO ALLOW FOR INDIVIDUAL CONTROL OVER ADU ZONE.

SECONDARY MEANS OF ESCAPE REQ'S

SILL HEIGHT = 44" MAX
 MIN. OPENING AREA = 5.7 SQFT
 MIN. OPENING HEIGHT = 24"
 MIN. OPENING WIDTH = 20"

SUCH MEANS OF EGRESS SHALL BE ACCEPTABLE WHERE ONE OF THE FOLLOWING CRITERIA ARE MET:

- THE WINDOW SHALL BE WITHIN 20' OF THE FINISHED GROUND LEVEL.
- THE WINDOW SHALL BE DIRECTLY ACCESSIBLE TO FIRE DEPARTMENT RESCUE APPARATUS AS APPROVED BY THE AHJ.
- THE WINDOW OR DOOR SHALL OPEN ONTO AN EXTERIOR BALCONY.
- WINDOWS HAVING A SILL HEIGHT BELOW THE ADJACENT FINISHED GROUND LEVEL SHALL BE PROVIDED WITH...



2 BASEMENT RCP
 Scale: 1/4" = 1'-0"

1 BASEMENT FLOOR PLAN
 Scale: 1/4" = 1'-0"

EXISTING WINDOW MUST MEET NFPA 101 SECONDARY MEANS OF ESCAPE REQUIREMENTS

NEW CASEMENT WINDOW TO MEET ALL NFPA 101 SECONDARY MEANS OF ESCAPE REQUIREMENTS

FIRE CAULK ANY PENETRATIONS OUT OF MECH. ROOM INTO ADU

HATCHED AREA IS PART OF PRIMARY UNIT

HATCHED AREA IS PART OF PRIMARY UNIT