



OSSO STUDIO

NOT FOR CONSTRUCTION

MOUNTAIN VIEW
ADU

252 GRANDVIEW TERRACE
MONTPELIER, VT

DATE : 12/28/2024
Δ REVISIONS

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OSSO STUDIO

SCHEMATIC
DESIGN

DEMOLITION
PLANS

D1

GENERAL NOTES - DEMOLITION

1. REMOVE ALL EXISTING CONSTRUCTION AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. NECESSARY DISCONNECTS AND ALTERATIONS TO MECHANICAL AND ELECTRICAL SYSTEMS INCLUDED.
2. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. REPAIR, PATCH, AND PAINT AS NEEDED. SURFACES WHICH ARE TO REMAIN BUT HAVE BECOME SOILED OR DAMAGED BY THE WORK, TO LIKE NEW CONDITION.
3. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSAL OF MATERIAL IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER DISPOSITION AND REMOVAL OF ANY COMPONENT OF SALVAGEABLE VALUE.
4. ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS.
5. PROTECT ALL EXISTING STRUCTURE, SYSTEMS, FINISHES, AND GENERAL CONSTRUCTION THAT ARE TO REMAIN THROUGHOUT THE COURSE OF THE WORK TO PREVENT DAMAGE OR LOSS.
6. CONTRACTOR IS TO VERIFY UTILITY LINE LOCATIONS AND MAINTAIN THOSE THAT SERVE OTHER PARTS OF THE BUILDING OR SITE THAT ARE NOT AFFECTED BY THE DEMOLITION.
7. DEMOLITION CONTRACTOR WILL ARRANGE FOR SHUT OFF OF EXISTING UTILITIES AS REQUIRED.
8. REMOVE EXISTING ROOFING AND UNDERLAYMENT. REPAIR ROOF SHEATHING AS REQUIRED FOR INSTALLATION OF NEW ROOFING.
9. REMOVE ALL EXISTING ELECTRICAL WIRING AND EQUIPMENT.

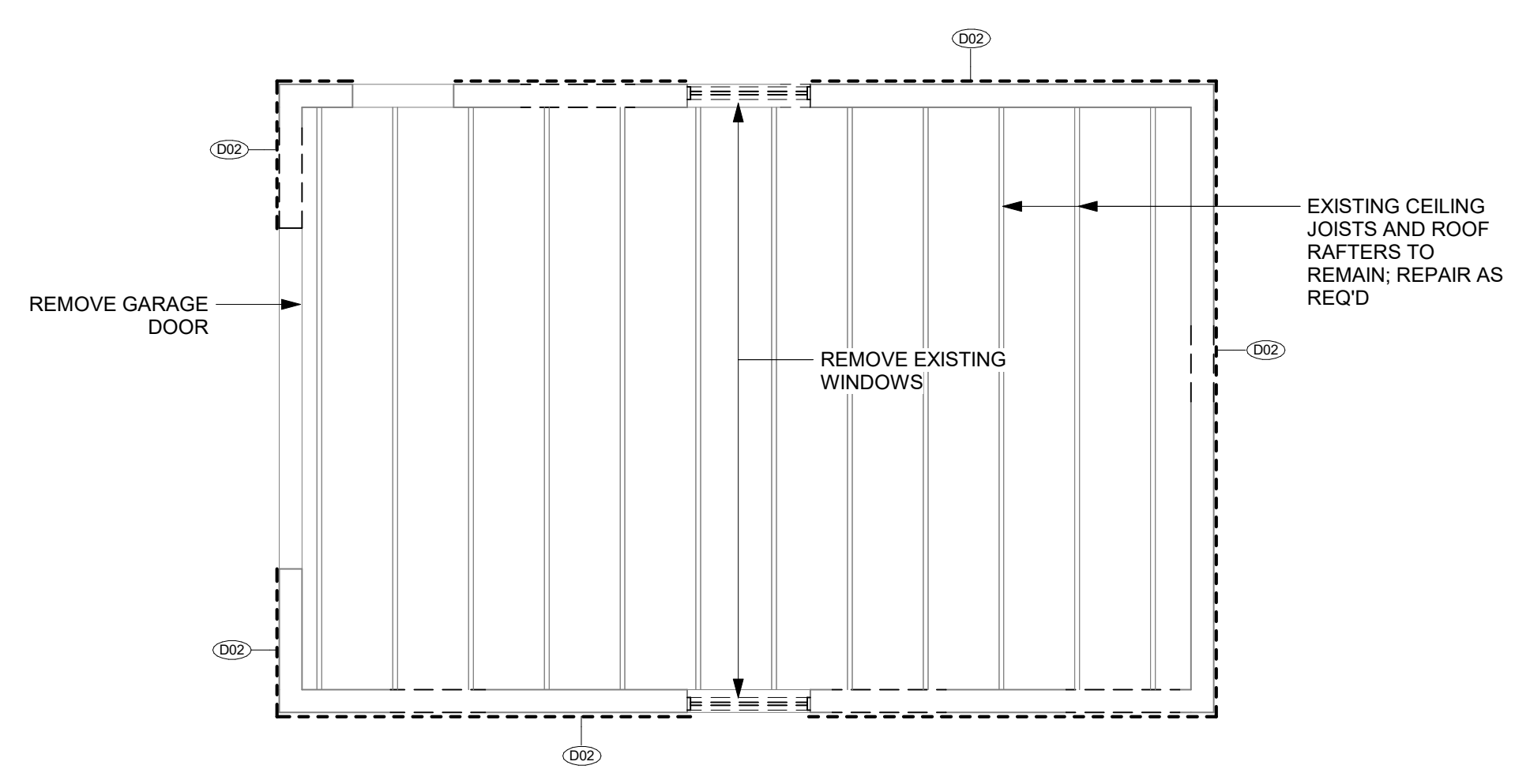
LEGEND	
---	1-HOUR FIRE BARRIER
- - - - -	2-HOUR FIRE BARRIER
▲	EXTERIOR EXIT
↑	INTERIOR EXIT

KEYNOTES

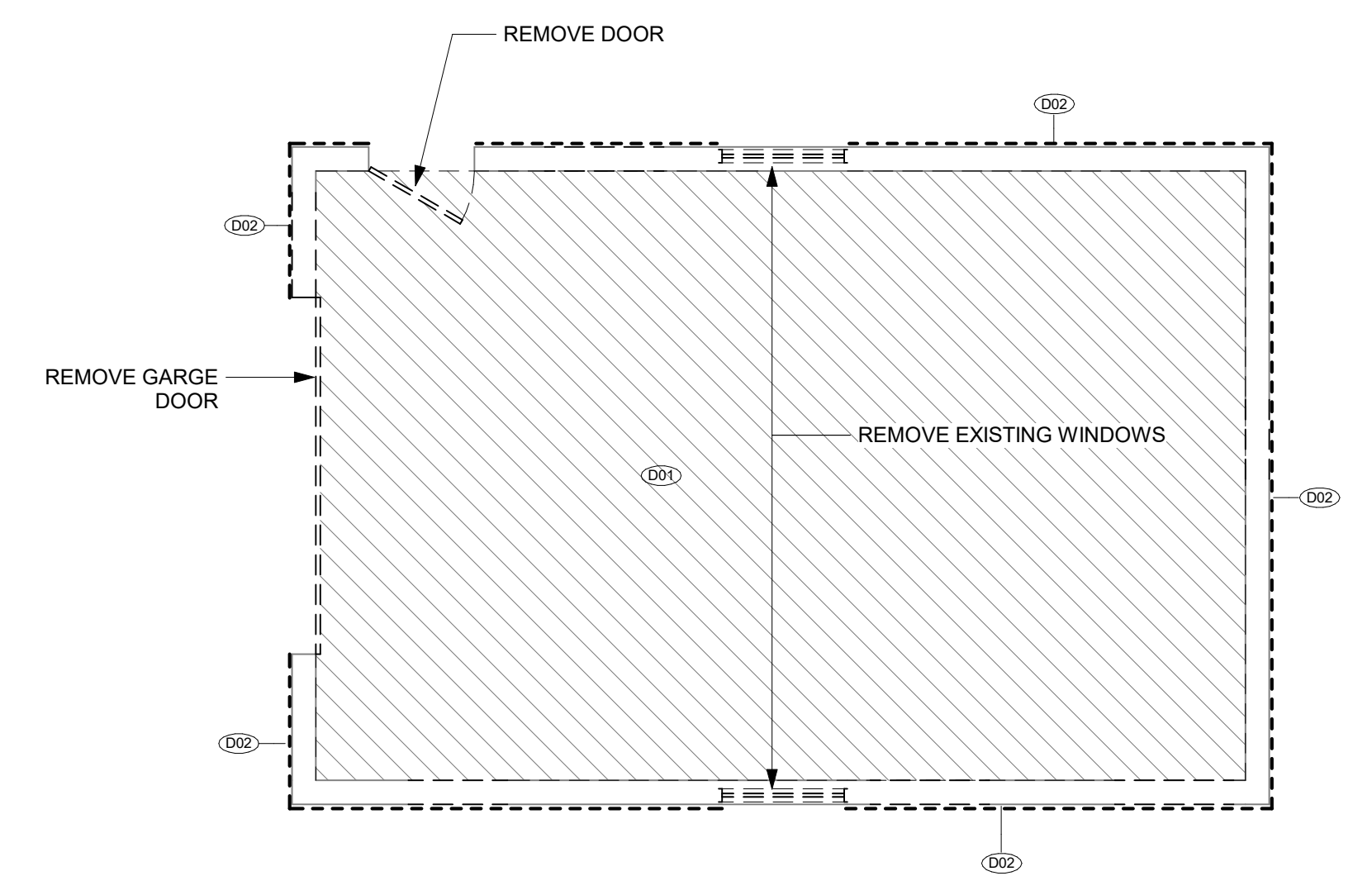
- D01 REMOVE EXISTING CONCRETE SLAB AND EXCAVATE TO ALLOW FOR 6" CRUSHED STONE AND 2" RIGID INSULATION UNDER NEW 4" SLAB; FFE TO REMAIN AT EXISTING ELEVATION
- D02 REMOVE EXISTING SIDING AND REPAIR EXISTING SHEATHING AS REQ'D.

DEMOLITION KEY

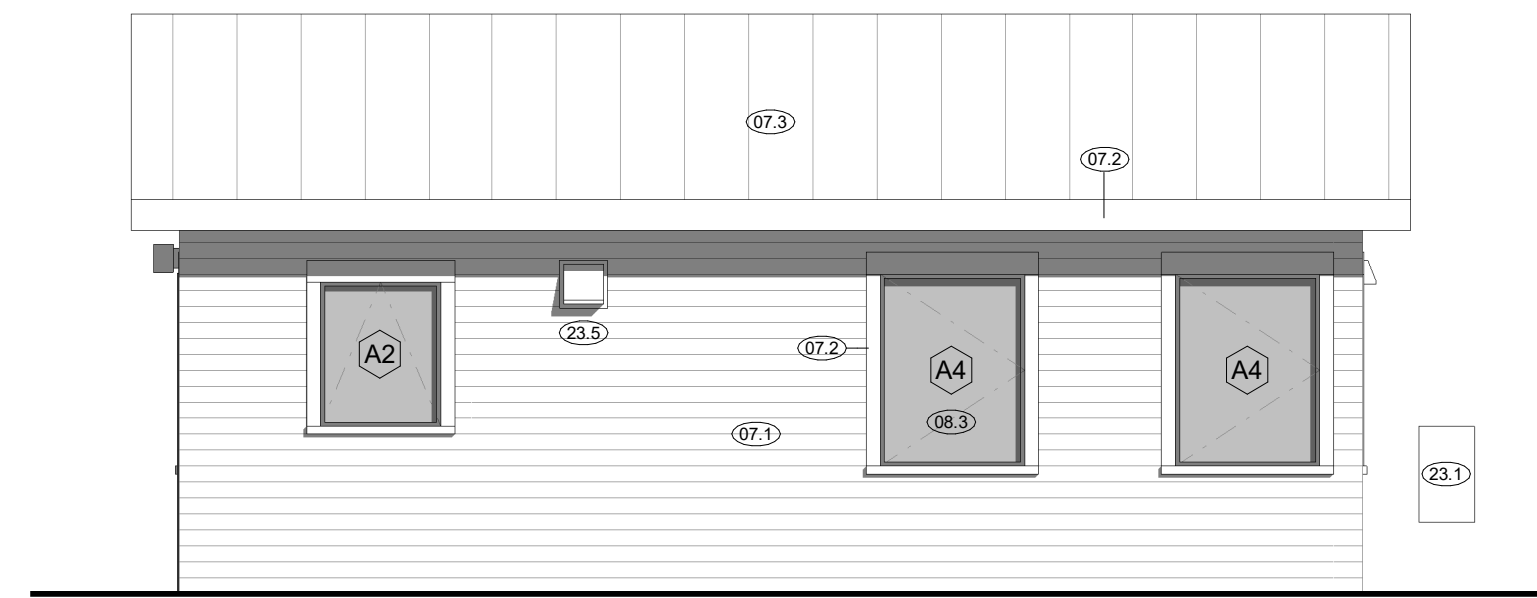
- ▭ EXISTING TO REMAIN
- - - - - EXISTING TO BE DEMOLISHED
- ▨ EXISTING FLOOR/CEILING TO BE DEMOLISHED



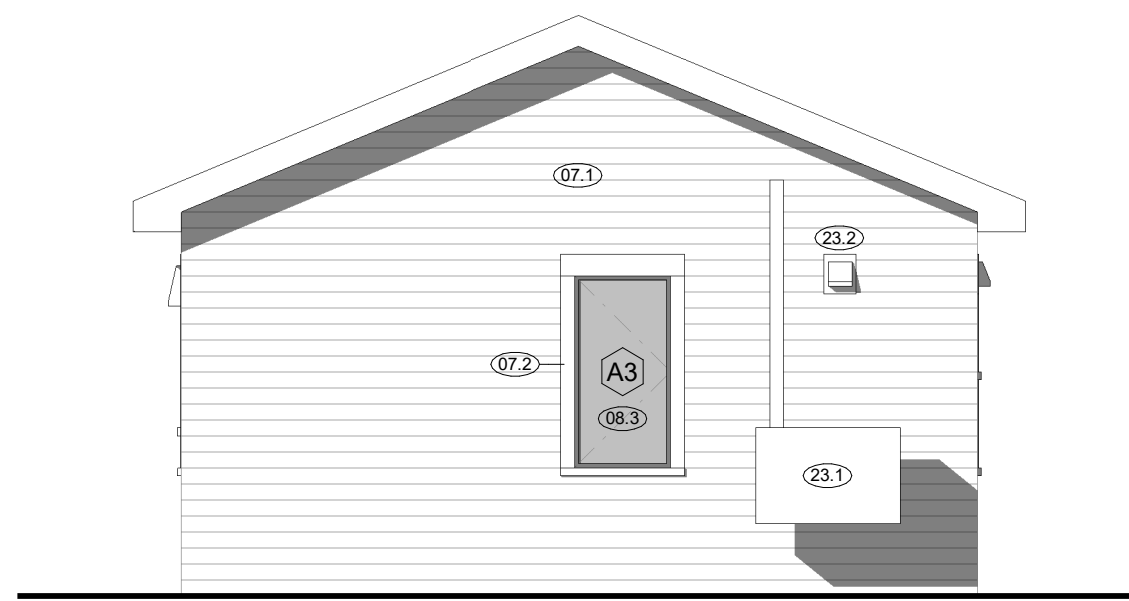
2 DEMOLITION RCP
Scale: 1/4" = 1'-0"



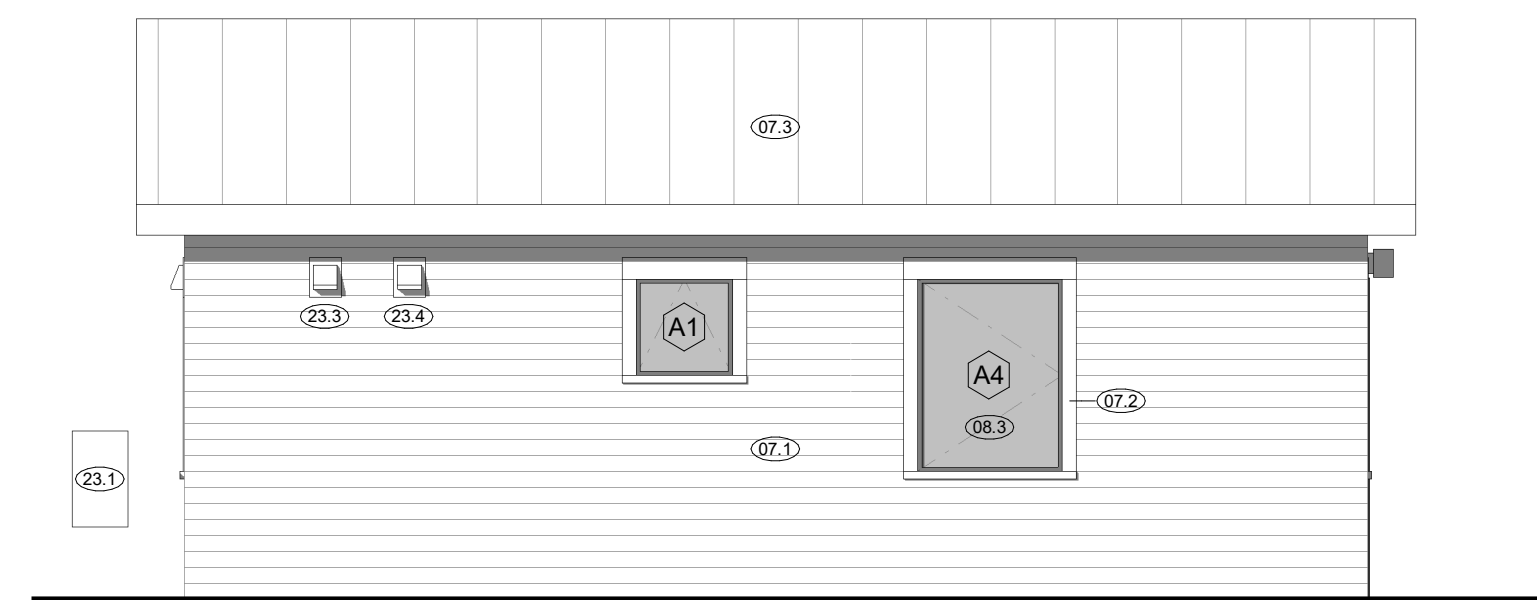
1 DEMOLITION PLAN
Scale: 1/4" = 1'-0"



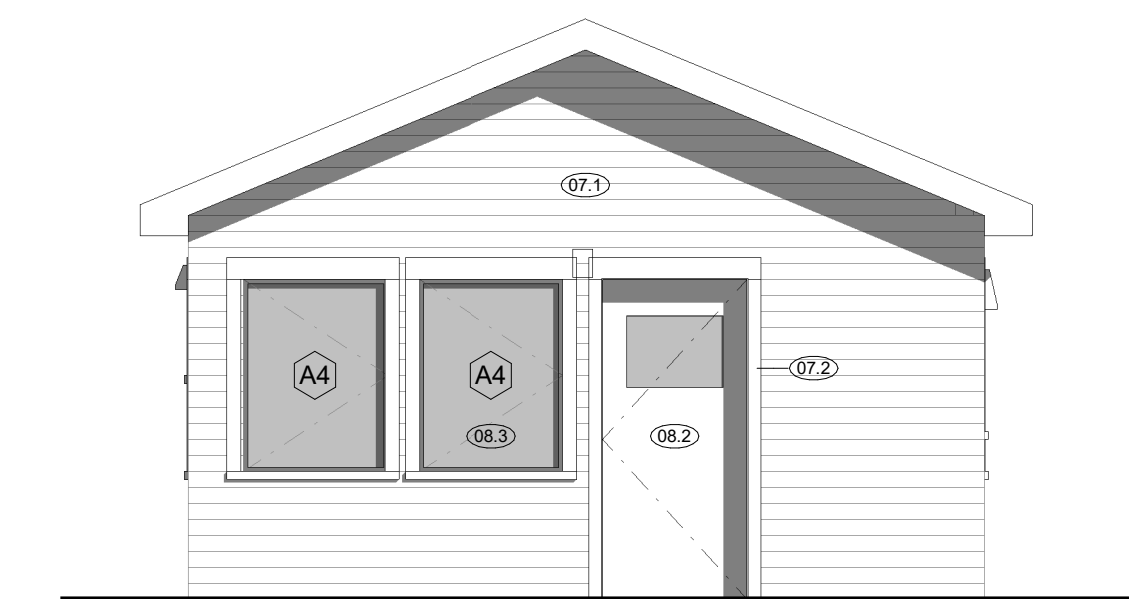
6 EXT ELEVATION - SOUTH
Scale: 1/4" = 1'-0"



5 EXT ELEVATION - EAST
Scale: 1/4" = 1'-0"



4 EXT ELEVATION - NORTH
Scale: 1/4" = 1'-0"



3 EXT ELEVATION - WEST
Scale: 1/4" = 1'-0"

SCOPE OF WORK: PLUMBING / MECHANICAL

1. INSTALL COMPLETE DUCTED MINI-SPLIT SYSTEM HUNG IN ATTIC SPACE WITH INSULATED LINE SETS. 1 TO 1 SINGLE ZONE SYSTEM. DUCT SUPPLY TO BEDROOM, BATHROOM, AND LIVING. RETURN FROM ATTIC SPACE. BASIS OF DESIGN: MITSUBISHI SEZ MODELS.
2. ADD 2' LONG BACK UP ELECTRIC BASEBOARD STRIPS IN BATHROOM, BEDROOM, AND LIVING AREA. INSTALL WITH OUTDOOR TEMPERATURE SENSOR CONTROL SETTINGS SO THEY DON'T TURN ON UNLESS THE OUTDOOR TEMPERATURE IS BELOW 10 DEGREES F.
3. INSTALL COMPLETE, DUCTED, BALANCED ENERGY RECOVERY VENTILATION SYSTEM WITH EXTERIOR PENETRATIONS FOR SUPPLY AND EXHAUST. SUPPLY TO BEDROOM AND LIVING ROOM. EXHAUST FROM BATHROOM WITH BOOST CONTROL FEATURE.
4. ROUGH-IN SLAB FOR LIBERTY EJECTOR PIT W/ BURIED SANITARY LINE TYING BACK INTO THE MAIN HOUSE SANITARY.
 - ALTERNATE OPTION IS TO PROVIDE NEW 500GA PUMP STATION OUTSIDE OF THE ADU W/ A NEW FORCED MAIN OUT TO THE STREET
5. PROVIDE NEW MUNICIPAL WATER SUPPLY TO THE ADU.
6. ROUGH IN AND TRIM KITCHEN, BATHROOM, AND LAUNDRY.
7. PROVIDE 50GA HEAT PUMP WATER HEATER SUSPENDED OVER EJECTOR PIT.

SCOPE OF WORK: ELECTRICAL

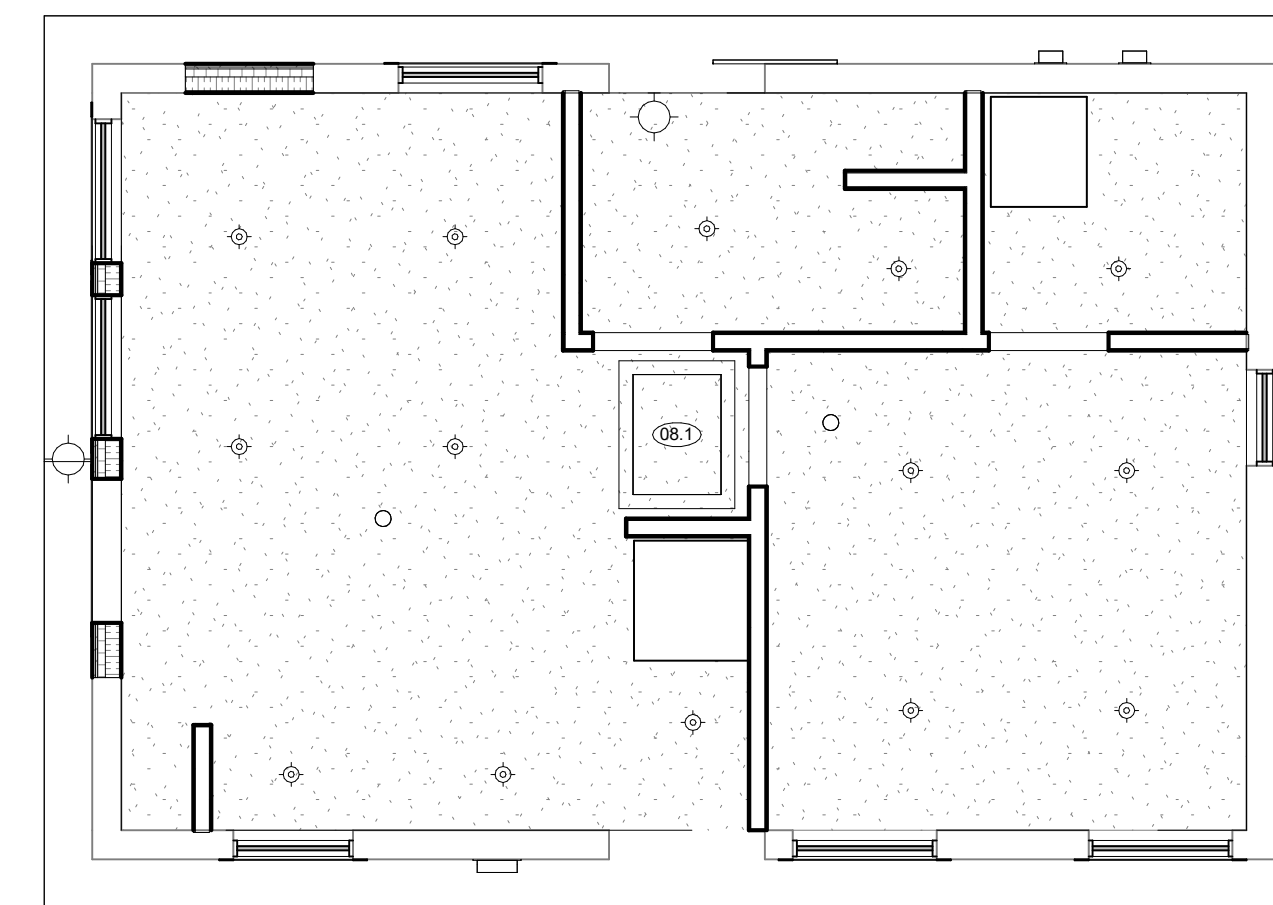
1. INSTALL NEW OVERHEAD 100 AMP ELECTRICAL SERVICE ON ROADSIDE OF STRUCTURE.
2. INSTALL NEW BREAKER PANEL NEAR METER SOCKET, OR USE METER/BREAKER PANEL COMBO TO SAVE SPACE INSIDE.
3. INTERIOR WIRING TO CODE. INCLUDES BASIC LIGHTING, RECEPTACLES, SMOKE DETECTION, EXTERIOR LIGHT AT ENTRY, SEPTIC PUMP, ELECTRIC DRYER, AND HEAT SYSTEM CONTROLS.
4. ALL LIGHTING SHALL BE LED AND COMPLY WITH ZONING REQUIREMENTS AS APPLICABLE. PROVIDE WALL MOUNTED VANITY LIGHT ABOVE BATHROOM SINK AND EXTERIOR WALL SCONCE BY ENTRY DOOR. ALL OTHER LIGHTING TO BE RECESSED TYPE.

WINDOW SCHEDULE			
TYPE MARK	WINDOW UNIT SIZE		NOTES
	WIDTH	HEIGHT	
A1	2'-0"	2'-0"	
A2	2'-6"	3'-0"	
A3	2'-0"	4'-0"	
A4	3'-0"	4'-0"	

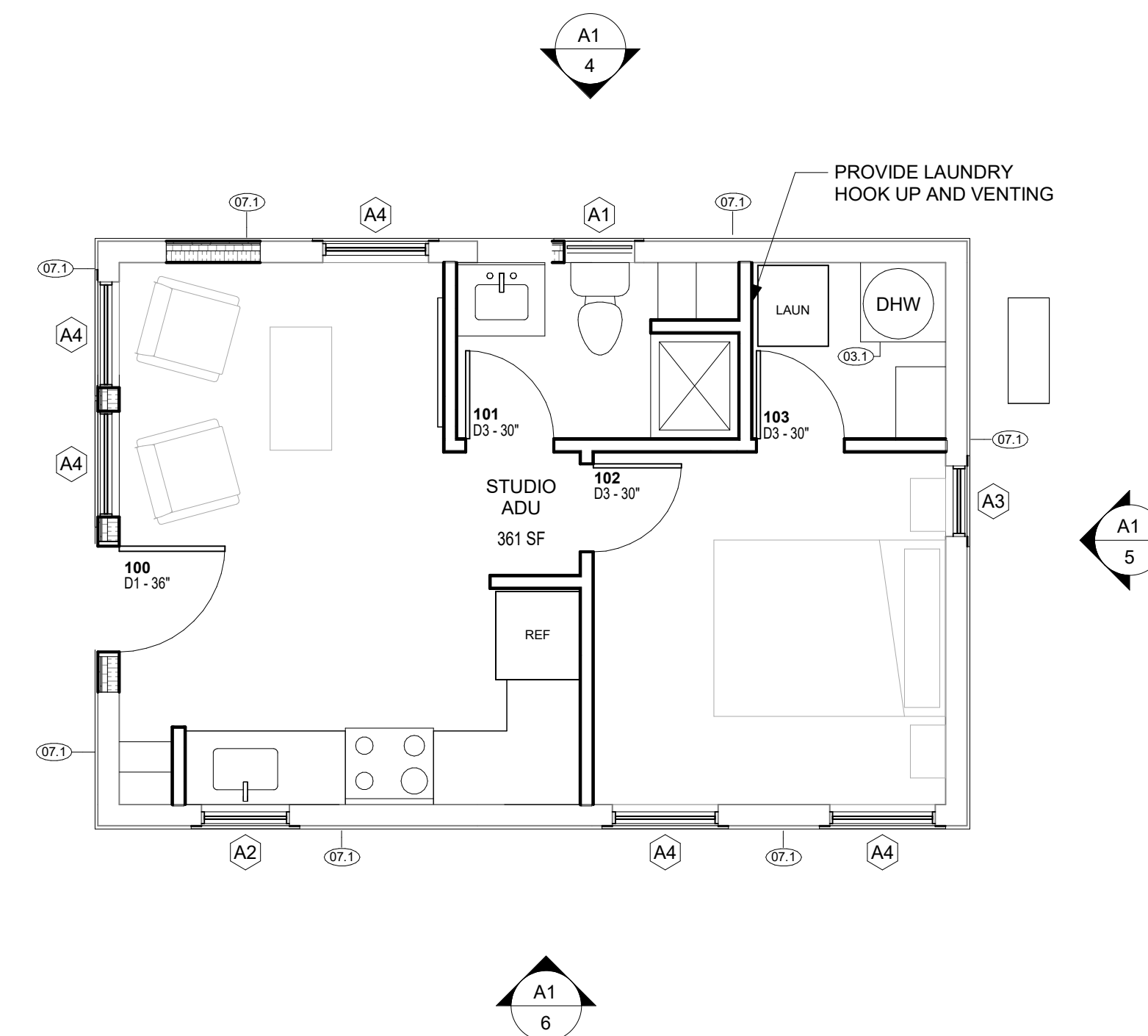
LEGEND	
---	1-HOUR FIRE BARRIER
---	2-HOUR FIRE BARRIER
EXIT	EXTERIOR EXIT
EXIT	INTERIOR EXIT

CEILING FIXTURE KEY	
LF1	RECESSED/SPOT LIGHT FIXTURE
LF1	STRIP/LINEAR LIGHT FIXTURE
LF1	LINEAR FIXTURE CONCEALED FROM VIEW
LF1	WALL MOUNT LIGHT FIXTURE
EF	EXHAUST FAN
AP	ACCESS PANEL
SA	SMOKE ALARM
OS	OCCUPANCY SENSOR

CEILING MATERIAL KEY	
[Pattern]	GYPSUM WALL BOARD
[Pattern]	WOOD BOARD CEILING



2 RCP - GROUND FLOOR
Scale: 1/4" = 1'-0"



1 GROUND FLOOR PLAN
Scale: 1/4" = 1'-0"

GENERAL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL WORK PERFORMED CONFORMS WITH ALL FEDERAL, STATE, AND LOCAL CODES.
2. ALL DIMENSIONS SHOWN ARE TO STRUCTURAL GRID OR FACE OF STUD, UNLESS NOTED OTHERWISE.
3. ALL WINDOW AND DOOR LOCATION DIMENSIONS ARE REFERENCED TO THE CENTER OF THE WINDOW/DOOR. REFERENCE SHEET A6.0 FOR MORE DIMENSIONAL INFORMATION.
4. PROVIDE NEW 4" CONCRETE SLAB ON TOP OF 6" CRUSHED STONE, 2" RIGID INSULATION, AND 15 MIL VAPOR BARRIER. TAPE SEAMS OF VAPOR BARRIER AND WRAP IT UP INTERIOR FACE OF EXISTING STUDS TO PROVIDE CONTINUITY TO AIR BARRIER. SEE NOTES ABOUT EJECTOR PITS TO ENSURE ROUGHIN FOR SANITARY SYSTEM.
5. WALLS WILL RE-USE EXISTING 2x4 FRAMING AND WALL SHEATHING. ADD 2" FOIL FACED POLYISO INSULATION TO EXTERIOR FACE OF EXISTING SHEATHING. ADD 1x3 STRAPPING TO SECURE NEW HP SMART SIDE CLAPBOARDS. PREFINISHED. FILL WALL CAVITY WITH BATT INSULATION.
6. ROOF RAFTERS AND SHEATHING TO REMAIN. SPRAY FOAM UNDERSIDE OF ROOF SHEATHING WITH CLOSED CELL SPRAY FOAM INSULATION TO R50 (+/- 7 1/2").
7. PROVIDE STRIP DOWN THE MIDDLE OF THE ATTIC SPACE OF 3/4" SUBFLOOR ON CEILING JOISTS TO ALLOW FOR MECHANICAL ACCESS AND LIMITED STORAGE.
8. PROVIDE NEW ENERGY STAR, TOP FREEZER REFRIGERATOR AND ELECTRIC RANGE. PROVIDE COMPACT LAUNDRY CENTER APPLIANCE.
9. NEW WINDOWS WILL BE FIBERGLASS, ENERGY STAR RATED FOR OUR CLIMATE. DOUBLE GLAZED LOW E W/ ARGON GLASS. CASEMENT/AWNING TYPE WINDOWS.
10. NEW DOOR WILL BE THERMATRU FIBERGLASS SHAKER STYLE QUARTER LITE DOOR W/ GLAZING TO MATCH WINDOWS.
11. PLYWOOD BOX CABINETS; SHAKER STYLE DOORS; MAPLE.
12. PLAM COUNTERTOPS WITH INTEGRAL BACKSPASH
13. INTERIOR FINISH SHALL BE 1/2" GWB THROUGHOUT, W/ 1 COAT PRIMER AND 2 COATS INTERIOR LATEX PAINT.
14. FLOORING SHALL BE LVP THROUGHOUT, EXCEPT BATHROOM, WHICH WILL HAVE SHEET LINOLEUM.

KEYNOTES

- 03.1 PROVIDE 24" X 24" HOLE IS SLAB BELOW THE DHW FOR EJECTOR PIT
- 07.1 2" FOIL FACED POLYISO INSULATION WITH 1x3 STRAPPING AND HP SMART SIDE CLAPBOARDS ON EXISTING SHEATHING AND FRAMING.
- 07.2 COMPOSITE TRIM/FASCIA/SOFFIT; PAINTED
- 07.3 24GA STANDING SEAM METAL ROOFING W/ NEW UNDERLAYMENT
- 08.1 ATTIC ACCESS; NON-INSULATED
- 08.2 THERMATRU OR EQUAL FIBERGLASS DOOR; SHAKER STYLE W/ QUARTER LITE.
- 08.3 FIBERGLASS WINDOW SYSTEM
- 23.1 OUTDOOR CONDENSING UNIT MOUNTED ON 18" METAL SNOW STAND ATTACHED TO CONCRETE MECHANICAL PAD.
- 23.2 ERV SUPPLY GRILL
- 23.3 ERV EXHAUST GRILL
- 23.4 DRYER EXHAUST GRILL
- 23.5 RANGE HOOD EXHAUST GRILL



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PLANS / ELEVATIONS

A1