

# Exhibit A1

Date:	<u>10/23</u>	Application #:	<u>002-23</u>
Fees Paid:	<u>50</u>	+ \$15 recording fee =	<u>65</u>
Parcel ID #:	<u>900-0009.V</u>		
Tax Map #:	<u>19-287.000</u>		

## TOWN OF WATERBURY ZONING PERMIT APPLICATION

Please provide all of the information requested in this application. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process of this application. Based upon the nature of the project you may need to submit additional information. For instructions on how to fill out this form please refer to the *Zoning Permit Application Instructions & Fee Schedule* available on the municipal website or at the municipal offices. Submit one copy of the completed application and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process, please contact the Zoning Administrator at 802-244-1018.

### CONTACT INFORMATION

#### APPLICANT

Name: ALAN HUNT  
 Mailing Address: 89 MAPLE ST  
BURLINGTON VT 05401  
 Home Phone: \_\_\_\_\_  
 Work/Cell Phone: 802 734 4767  
 Email: HUNTING @ TELNET.NET

#### PROPERTY OWNER (if different from Applicant)

Name: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_  
 Home Phone: \_\_\_\_\_  
 Work/Cell Phone: \_\_\_\_\_

### PROJECT DESCRIPTION

Physical location of project (E911 address): 9 NO MAPLE ST  
WATERBURY  
 Lot size: \_\_\_\_\_ Zoning District: VMR  
 Existing Use: \_\_\_\_\_ Proposed Use: \_\_\_\_\_  
 Brief description of project:  
REHABILITATE FRONT PORCH -  
REPLACE EXISTING FRONT COLUMN SUPPORTS  
AND PORCH FLOOR  
 Cost of project: \$ 15,000 Estimated start date: \_\_\_\_\_  
 Water system: \_\_\_\_\_ Waste water system: \_\_\_\_\_

<b>EXISTING</b>	<b>PROPOSED</b>
Square footage: _____	Square footage: _____ Height: _____
Number of bedrooms/baths: _____	Number of bedrooms/bath: _____
# of parking spaces: _____	# of parking spaces: _____
Setbacks: front: _____	Setbacks: front: _____
sides: _____ rear: _____	sides: _____ rear: _____

### CHECK ALL THAT APPLY:

#### NEW CONSTRUCTION

- Single-Family Dwelling
- Two-Family Dwelling
- Multi-Family Dwelling
- Commercial / Industrial Building
- Residential Building Addition
- Comm./ Industrial Building Addition
- Accessory Structure (garage, shed)
- Accessory Apartment
- Porch / Deck / Fence / Pool / Ramp
- Development in SFHA (including repairs and renovation)
- Other \_\_\_\_\_

#### USE

- Establish new use
- Change existing use
- Expand existing use
- Establish home occupation

#### OTHER

- Subdivision (# of Lots: \_\_\_\_\_)
- Boundary Line Adjustment (BLA)
- Planned Unit Development (PUD)
- Parking Lot
- Soil/sand/gravel/mineral extraction
- Other \_\_\_\_\_

### ADDITIONAL MUNICIPAL PERMITS REQUIRED:

- Curb Cut / Access permit
- E911 Address Request
- Water & Sewer Allocation
- none of the above

**[Additional State Permits may also be required]**

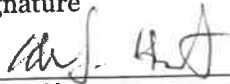
**SKETCH PLAN**

Please include a sketch of your project, drawn to scale, with all required measurements - see *Zoning Permit Application Instructions*. You may use the space below or attach separate sheets. For plans larger than 11"x17" please provide a digital copy (pdf. file format) in addition to a paper copy.

**Exhibit A2**

**SIGNATURES**

The undersigned hereby applies for a Zoning Permit for the use described in this application to be issued on the basis of the representations made herein all of which the applicant swears to be complete and true.

Applicant Signature	date
	11/10/23
Property Owner Signature	date

**CONTACT**

Zoning Administrator Phone: (802) 244-1018  
Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Suite 1, Waterbury, VT 05676  
Municipal Website: www.waterburyvt.com

**OFFICE USE ONLY**

Zoning District/Overlay: DWN / DDR

Review type:  Administrative  DRB Public Warning Required:  Yes  No

DRB Referral Issued (effective 15-days later): \_\_\_\_\_

DRB Mtg Date: FEB 1, 2023 Decision Date: \_\_\_\_\_

Date Permit issued (effective 16-days later): \_\_\_\_\_

Final Plat due (for Subdivision only): \_\_\_\_\_

Remarks & Conditions: \_\_\_\_\_

Authorized signature: \_\_\_\_\_ Date: \_\_\_\_\_

REVIEW/APPLICATIONS:

Conditional Use  Waiver

Site Plan

Variance

Subdivision:

Subdv.  BLA  PUD

Overlay:

DDR  SFHA  RHS  CMP

Sign

Other DESIGN REVIEW

n/a

# Exhibit B

## Description of 9 North Main Street in village historic survey

### **196. 9 North Main Street, house, c. 1845. Contributing.**

Wood frame, 2 ½ story, gable front, sidehall plan house converted to apartments with asbestos shingle siding and a ribbed metal covered roof. A pedimented gable highlights the upper façade, a full width porch with Tuscan columns resting on a shingled half wall shelters a Greek-Revival style entrance with ¾ sidelights and transom – all with replacement glass, enframed by fluted pilasters and entablature which is mostly obscured by the porch. A second story exterior door is evidence of a previous upper porch. Window openings hold a variety of historic wood and replacement vinyl windows. The south elevation has a two-story bay window whose roof is tucked under the eaves. Multiple rear ells have enclosed side porches and roof dormers.

# Exhibit C



## 9 N. Main St.

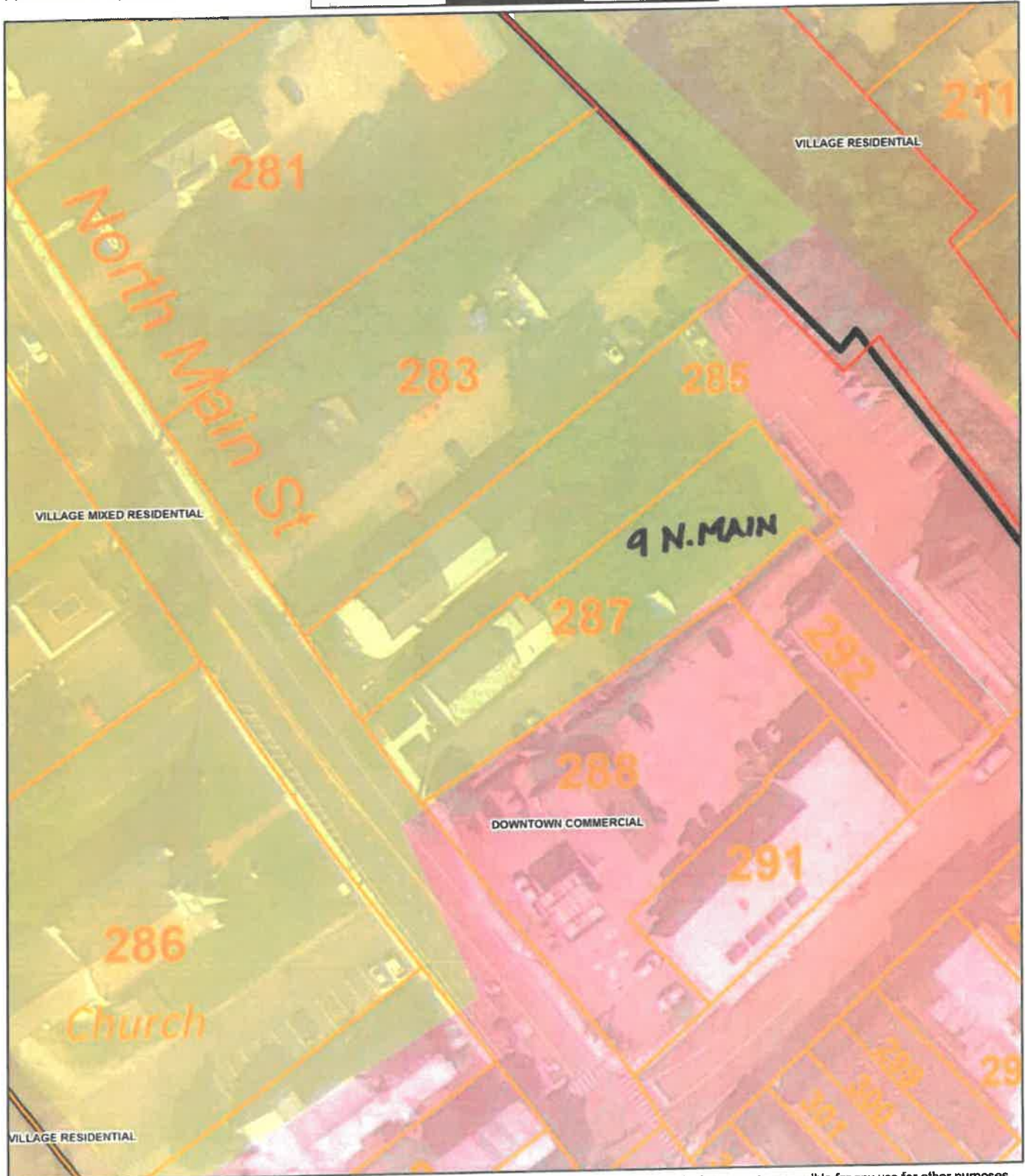
Waterbury, VT

1 inch = 94 Feet

CAI Technologies

[www.cai-tech.com](http://www.cai-tech.com)

November 8, 2022



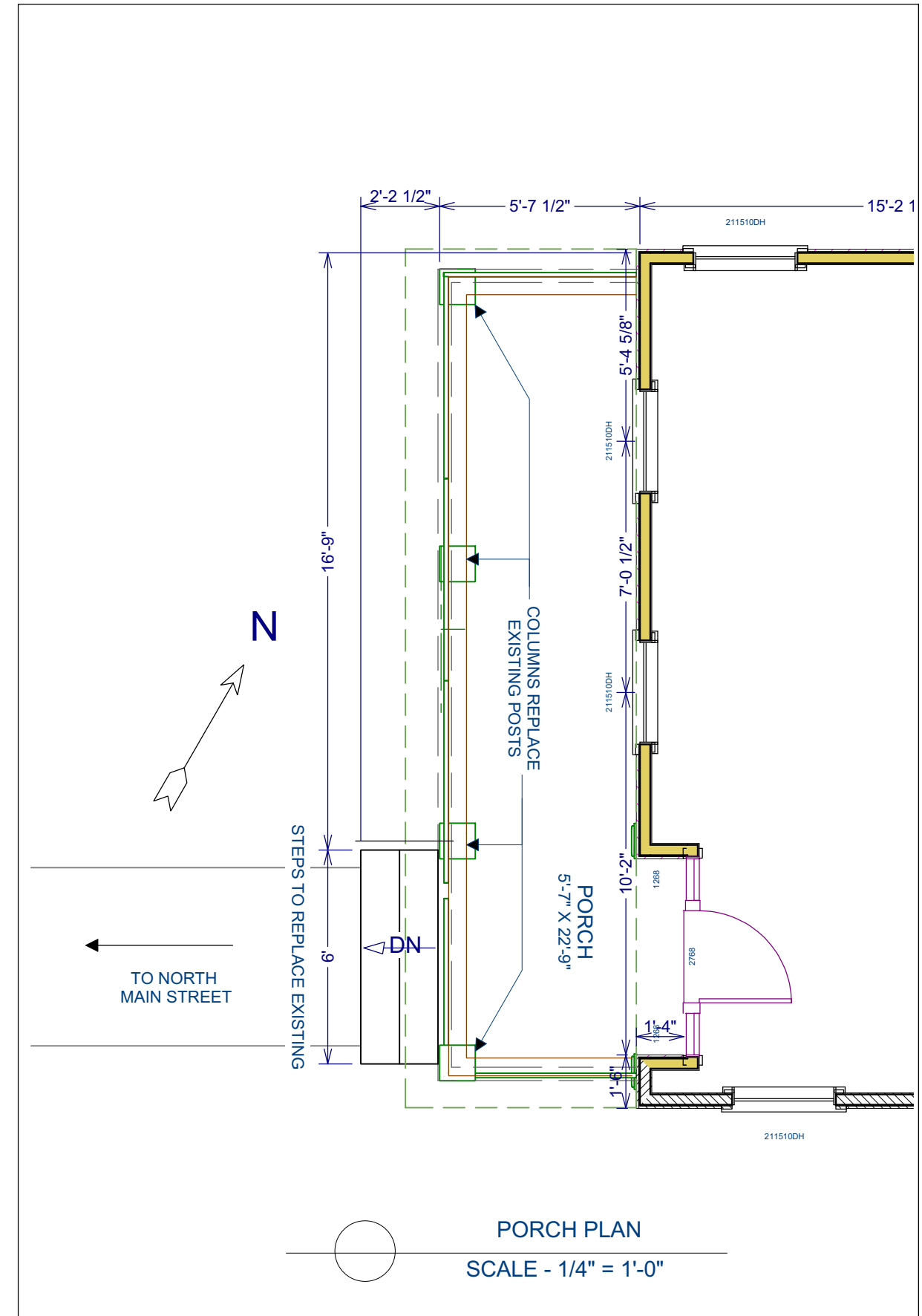
Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

# Exhibit D1



ISOMETRIC VIEW FROM SOUTH

SCALE - NONE



PORCH PLAN

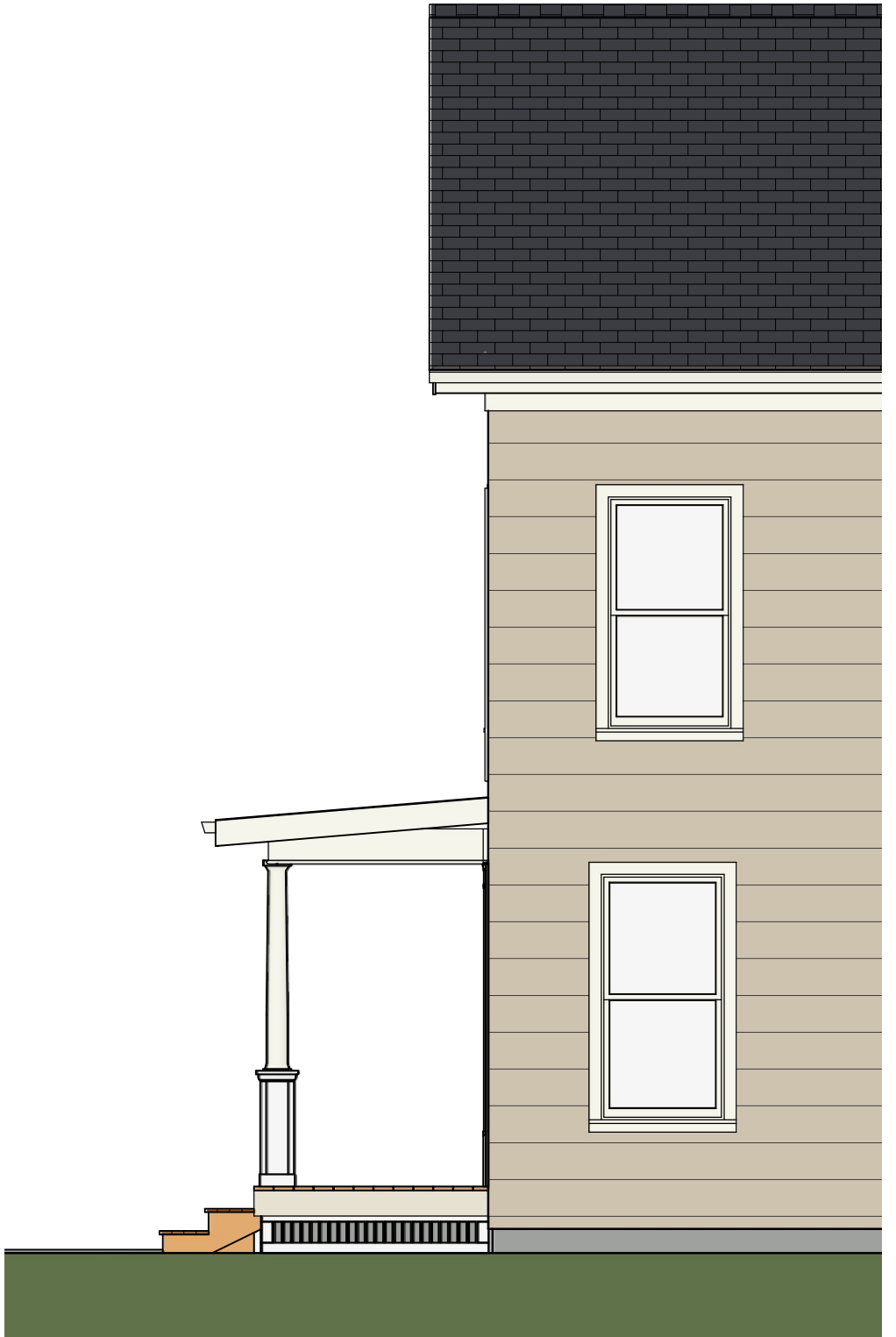
SCALE - 1/4" = 1'-0"

<b>A-101</b>
NO. DESCRIPTION BY DATE
SHEET TITLE: <b>ISOMETRIC VIEW; PORCH PLAN</b>
PROJECT DESCRIPTION: <b>RESIDENCE VERMONT</b>
DRAWINGS PROVIDED BY: <b>Kim Brown Projects</b> Box 92 Waterbury Center, Vermont 05677 802-244-8156
DATE: 2/9/2023
SCALE: 1/4" = 1'-0"
SHEET: <b>A-1</b>

Exhibit D2



FRONT ELEVATION  
SCALE - 1/4" = 1'-0"



RIGHT ELEVATION  
SCALE - 1/4" = 1'-0"

Hunt-9NMainPorch-102822-1117

A-201

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**FRONT ELEVATION**

PROJECT DESCRIPTION:  
**RESIDENCE**  
VERMONT

DRAWINGS PROVIDED BY:  
**Kim Brown Projects**  
Box 92  
Waterbury Center, Vermont 05677  
802-244-8156

DATE:  
2/9/2023

SCALE:  
1/4" = 1'-0"

SHEET:

**A-2**