

Exhibit A1

Date: <u>09.02.2022</u>	Application #: <u>051-22</u>
Fees Paid: <u>500</u> + \$15 recording fee = <u>515.00</u>	
Parcel ID #: <u>680-0050</u>	
Tax Map #: <u>10-023.900</u>	

TOWN OF WATERBURY ZONING PERMIT APPLICATION

Please provide all of the information requested in this application.

Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process of this application. Based upon the nature of the project you may need to submit additional information. For instructions on how to fill out this form please refer to the *Zoning Permit Application Instructions & Fee Schedule* available on the municipal website or at the municipal offices. Submit one copy of the completed application and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process, please contact the Zoning Administrator at 802-244-1018.

CONTACT INFORMATION

APPLICANT

Name: JOHN MITCHLER
 Mailing Address: PO BOX 553
WATERBURY, VT 05676
 Home Phone: _____
 Work/Cell Phone: 802 363-0224
 Email: SOUTH HOLLOW CONSTRUCTION @ GMAIL .COM

PROPERTY OWNER (if different from Applicant)

Name: _____
 Mailing Address: _____
 Home Phone: _____
 Work/Cell Phone: _____
 Email: _____

PROJECT DESCRIPTION

Physical location of project (E911 address): LOT #4 of
HONEYBUCKLE HILL P.U.D. CORNER of SWEET RD
& RIPLEY RD
 Lot size: 1.29 ACRES Zoning District: MDR
 Existing Use: UNDEVELOPED LAND Proposed Use: SINGLE FAMILY RESIDENCE
 Brief description of project: NEW CONSTRUCTION of a
48x24 2 Bedroom House with an 8'x56' patio on west
& WITH an 8'x24 ground level deck on south
Also a 24'x14' A.D.U. with 8'x12' ground level deck.
 Cost of project: \$ 600,000.00 Estimated start date: July 2022
 Water system: Drilled well Waste water system: permitted septic system
EXISTING NONE **PROPOSED**
 Square footage: _____ Height: _____ Square footage: 1488 Height: 21'
 Number of bedrooms/baths: _____ Number of bedrooms/bath: 3/3
 # of parking spaces: _____ # of parking spaces: 4
 Setbacks: front: _____ Setbacks: front: 170' to nearest property line
 sides: / rear: _____ sides: / rear: _____

CHECK ALL THAT APPLY:

- NEW CONSTRUCTION**
- Single-Family Dwelling
 - Two-Family Dwelling
 - Multi-Family Dwelling
 - Commercial / Industrial Building
 - Residential Building Addition
 - Comm./ Industrial Building Addition
 - Accessory Structure (garage, shed)
 - Accessory Apartment
 - Porch / Deck / Fence / Pool / Ramp
 - Development in SFHA (including repairs and renovation)
 - Other _____
- USE**
- Establish new use
 - Change existing use
 - Expand existing use
 - Establish home occupation
- OTHER**
- Subdivision (# of Lots: _____)
 - Boundary Line Adjustment (BLA)
 - Planned Unit Development (PUD)
 - Parking Lot
 - Soil/sand/gravel/mineral extraction
 - Other _____

ADDITIONAL MUNICIPAL PERMITS REQUIRED:

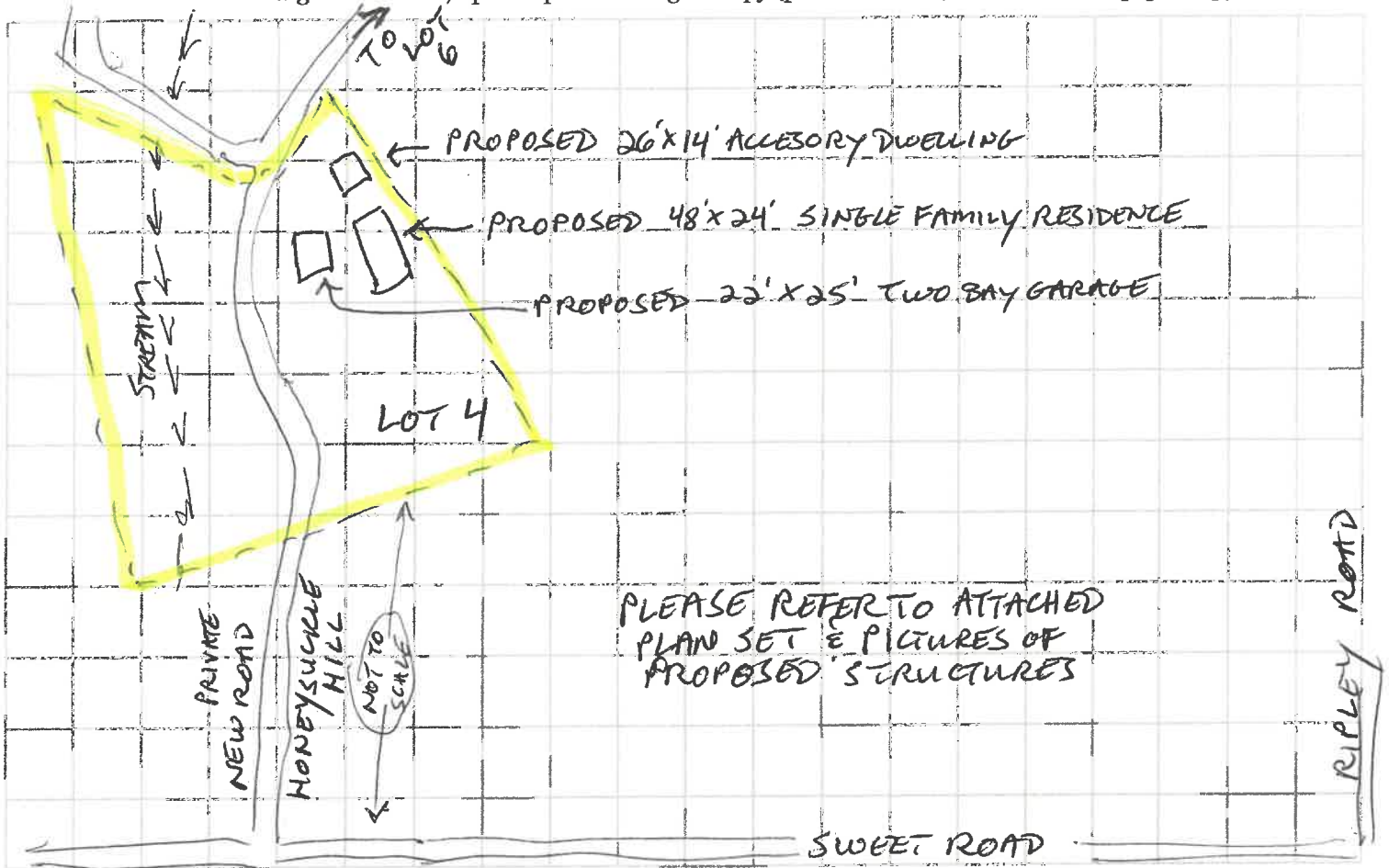
- Curb Cut / Access permit
- E911 Address Request
- Water & Sewer Allocation
- none of the above

[Additional State Permits may also be required]

Exhibit A2

SKETCH PLAN

Please include a sketch of your project, drawn to scale, with all required measurements - see *Zoning Permit Application Instructions*. You may use the space below or attach separate sheets. For plans larger than 11"x17" please provide a digital copy (pdf. file format) in addition to a paper copy.



SIGNATURES

The undersigned hereby applies for a Zoning Permit for the use described in this application to be issued on the basis of the representations made herein all of which the applicant swears to be complete and true.

John Mitchell
Applicant Signature

4.28.2022
date

John Mitchell
Property Owner Signature

4.28.2022
date

CONTACT

Zoning Administrator Phone: (802) 244-1018
Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Suite 1, Waterbury, VT 05676
Municipal Website: www.waterburyvt.com

OFFICE USE ONLY

Zoning District/Overlay: _____
 Review type: Administrative DRB Public Warning Required: Yes No
 DRB Referral Issued (effective 15-days later): _____
 DRB Mtg Date: _____ Decision Date: _____
 Date Permit issued (effective 16-days later): _____
 Final Plat due (for Subdivision only): _____
 Remarks & Conditions: _____

 Authorized signature: _____ Date: _____

REVIEW/APPLICATIONS:

- Conditional Use Waiver
- Site Plan
- Variance
- Subdivision:
 - Subdv. BLA PUD
- Overlay:
 - DDR SFHA RHS CMP
- Sign
- Other _____
- n/a

Exhibit A3

Date: _____	Application #: _____
Fees Paid: _____	(\$15 recording fee already paid)
Parcel ID #: _____	
Tax Map #: _____	

TOWN OF WATERBURY CONDITIONAL USE INFORMATION

This Conditional Use (and Setback Waiver) information sheet supplements the Zoning Permit application. Please provide all of the information requested on each form. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process. Submit one copy of the completed forms and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process, please contact the Zoning Administrator at 802-244-1018.

PROJECT DESCRIPTION

Brief description of project: See attached sheet Lot 4 Hinesville Hill

CONDITIONAL USE CRITERIA

Please respond to the following; you may answer on a separate sheet and attach additional pages and supporting materials:

1. Describe how the proposed use will not have an undue adverse impact on the capacity of existing or planned community facilities to accommodate it (including roads and highways, municipal water or sewer systems, school system, fire protection services):
2. Describe how the proposed use will not have an undue adverse impact on the character of the area affected as defined by the Municipal Plan and the zoning district in which the proposed project is located:
3. Describe how the proposed use will not violate any municipal bylaws and ordinances in effect:
4. Describe any devices or methods to prevent or control fumes, gas, dust, smoke, odor, noise, or vibration:
5. For removal of earth or mineral products which is not incidental to a construction, landscaping, or agricultural operation, a removal project must meet specific conditions outlined within Section 302 of the Waterbury Zoning Regulations. Are the conditions included within the Application Submittals?

CONTACT Zoning Administrator Phone: (802) 244-1018
Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Waterbury, VT 05676
Municipal Website: www.waterburyvt.com

Exhibit A4

Honeysuckle Hill Lot 4 South Hollow Construction John Mutchler

Project Description

Single family home with an ADU and a garage. The house site has been carefully selected to provide views to the west while having little or no visibility from any Vantage Points.

1. A.) The addition of a single-family home will not reduce the level of service on the local road network.

B.) The project will not burden the municipal water or sewer services as they will not be utilized.

C.) The project will not over burden the school system as additional capacity exists.

D.) The project will not place an unreasonable burden on fire protection services as the area is currently served.

2. A.) The project has been designed to avoid any adverse effects on scenic or natural beauty.

B.) The project is consistent with other uses in the area, which are primarily residential.

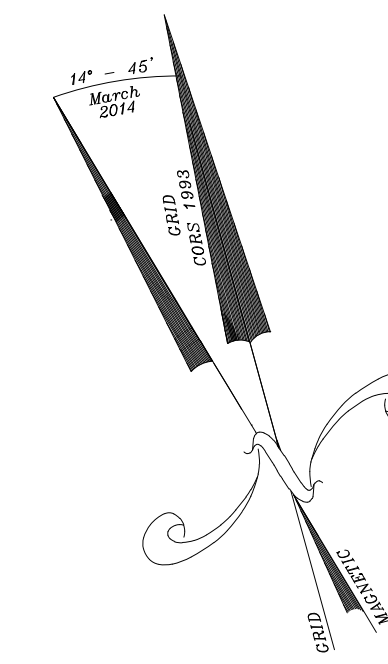
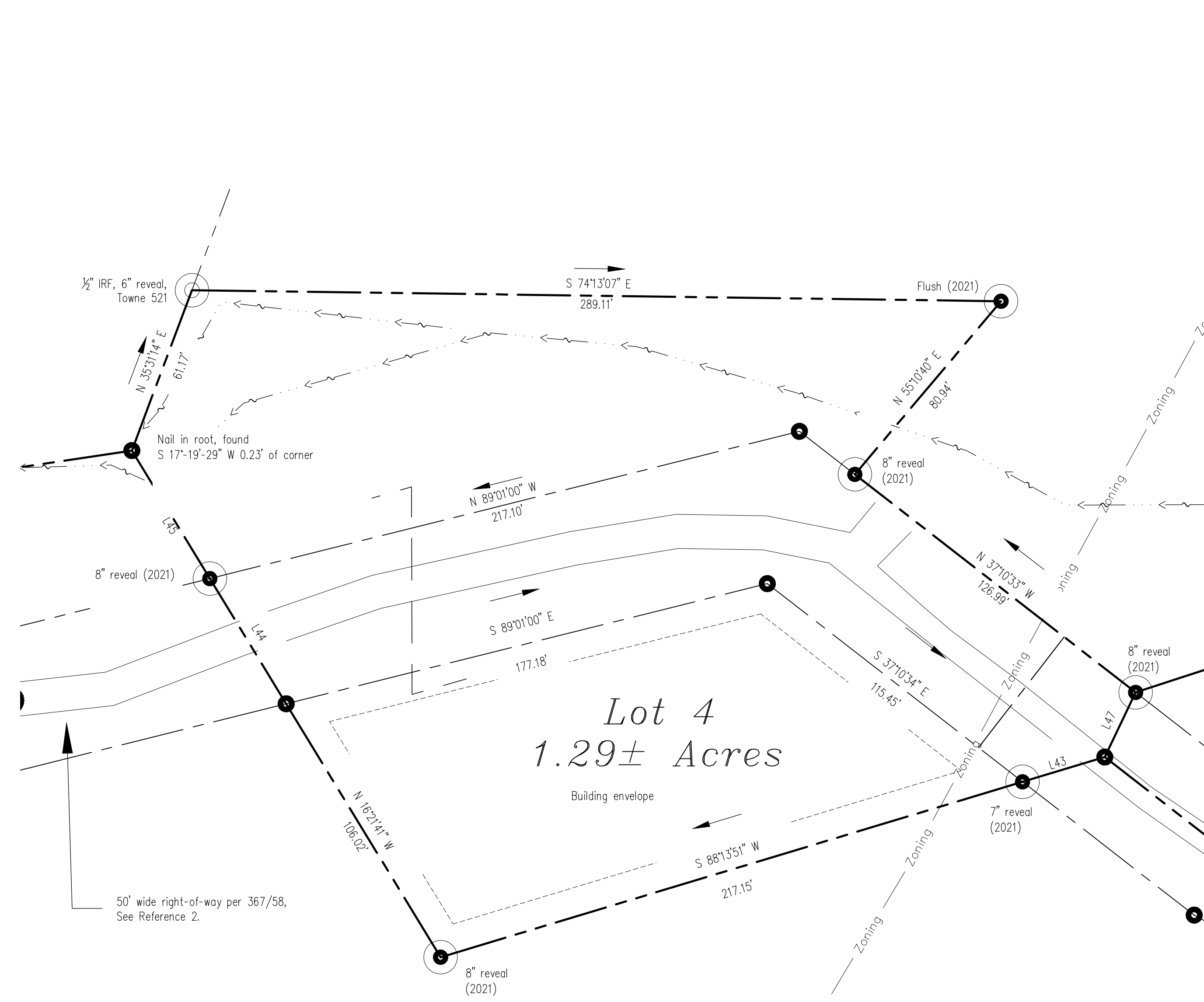
3. The project is complying with all municipal bylaws and ordinances, as well as permits issued by the State. (Operational Stormwater, Construction General Permit, Act 250)

4. A.) The project will not result in undue noise, air, or light pollution, offensive odors, dust, smoke, or noxious odors. Residential projects do not result in these issues, except perhaps light pollution. The project covenants require all exterior lights to be downcast and shielded and to not illuminate beyond property lines.

B.) The project will not jeopardize the health and safety of the area for the reasons above.

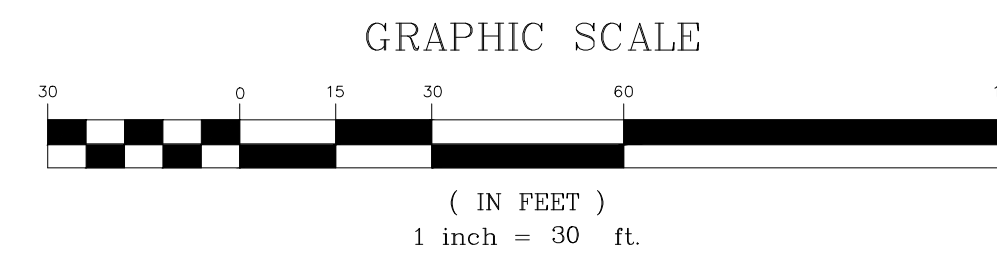
5. There will be no removal of earth or mineral products unrelated to construction, landscaping, or agricultural operations.

Exhibit B1



- LEGEND**
- 1/2" Iron rod set with cap marked "VAN IDERSTINE 719"
 - (2009) 1/2" Iron rod set with 8" - 15" reveal with cap marked "VAN IDERSTINE 719"
 - (2015) 1/2" Iron rod set with 10" - 15" reveal with cap marked "VAN IDERSTINE 719"
 - Iron rod found
 - Calculated point
 - Property line
 - - - Right-of-Way line
 - - - Adjoiner line
 - - - Building envelope
 - - - Zoning
 - - - Zoning district line
 - ~ Stream
- 118/599 Book 118 Page 599 of the Land Records

LINE	BEARING	DISTANCE
L43	S 88°13'51" W	30.67'
L44	N 16°21'41" W	53.38'
L45	N 16°21'41" W	53.52'
L47	S 40°31'34" W	25.59'



50' wide right-of-way per 367/58, See Reference 2.

LOT 4 PERMITTING MAP

Honeysuckle Hill Development LLC
Ripley Road and Sweet Road Waterbury, Vermont

SCALE : 1" = 30' PROJECT : Mc25130D DRAWING: 25130Dsv 20210525.DWG	McCAIN CONSULTING, INC. 93 SOUTH MAIN STREET WATERBURY, VERMONT 05676
DATE: June 2, 2022	SHEET 1 OF 1

Exhibit B2

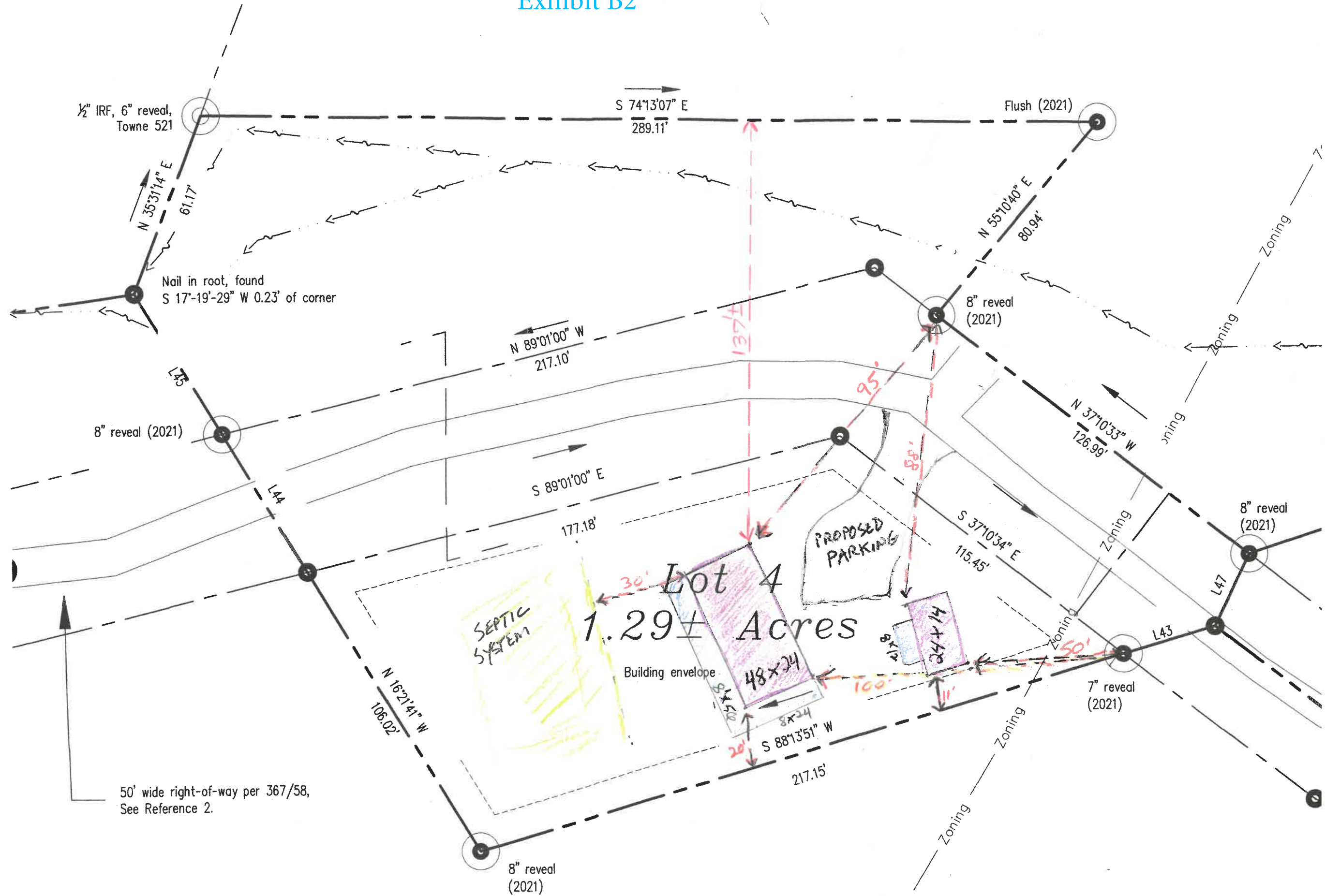
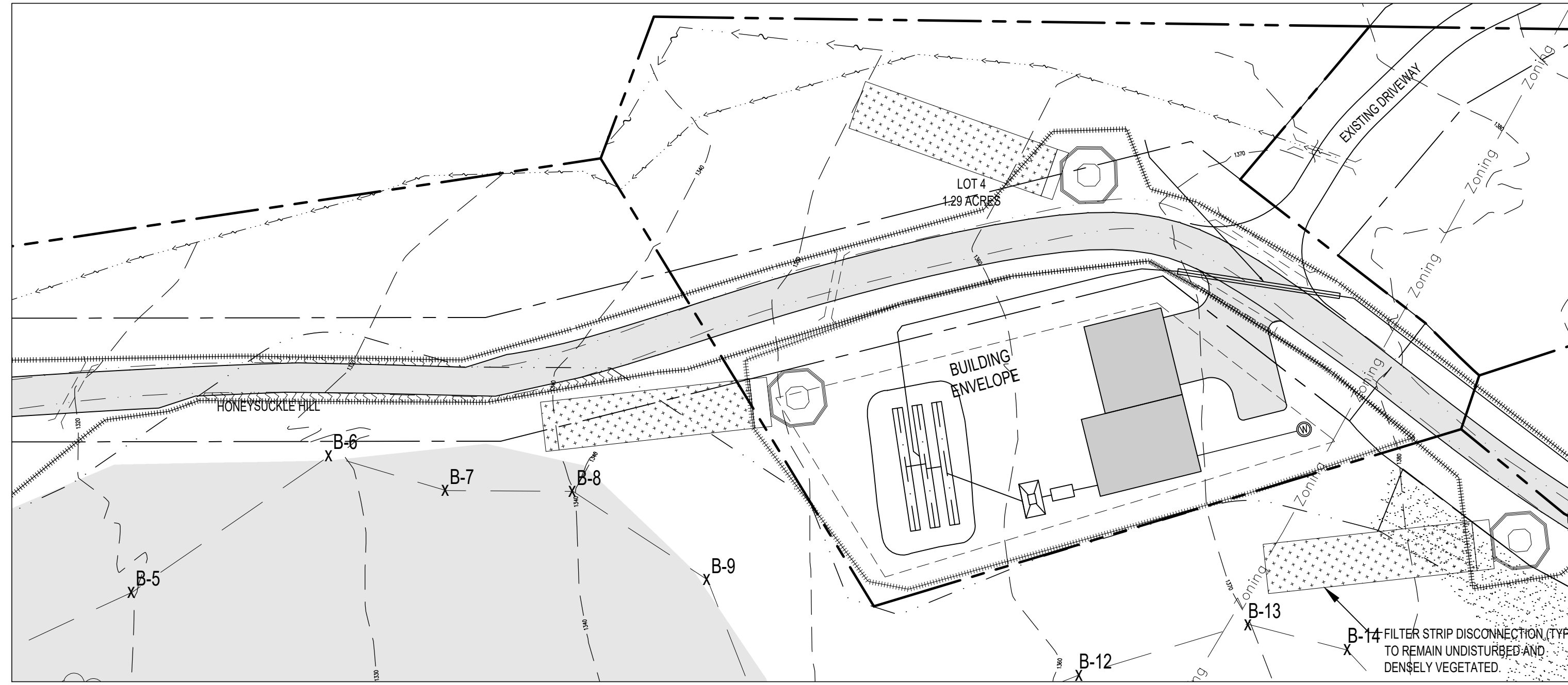


Exhibit B4

INSET - 1



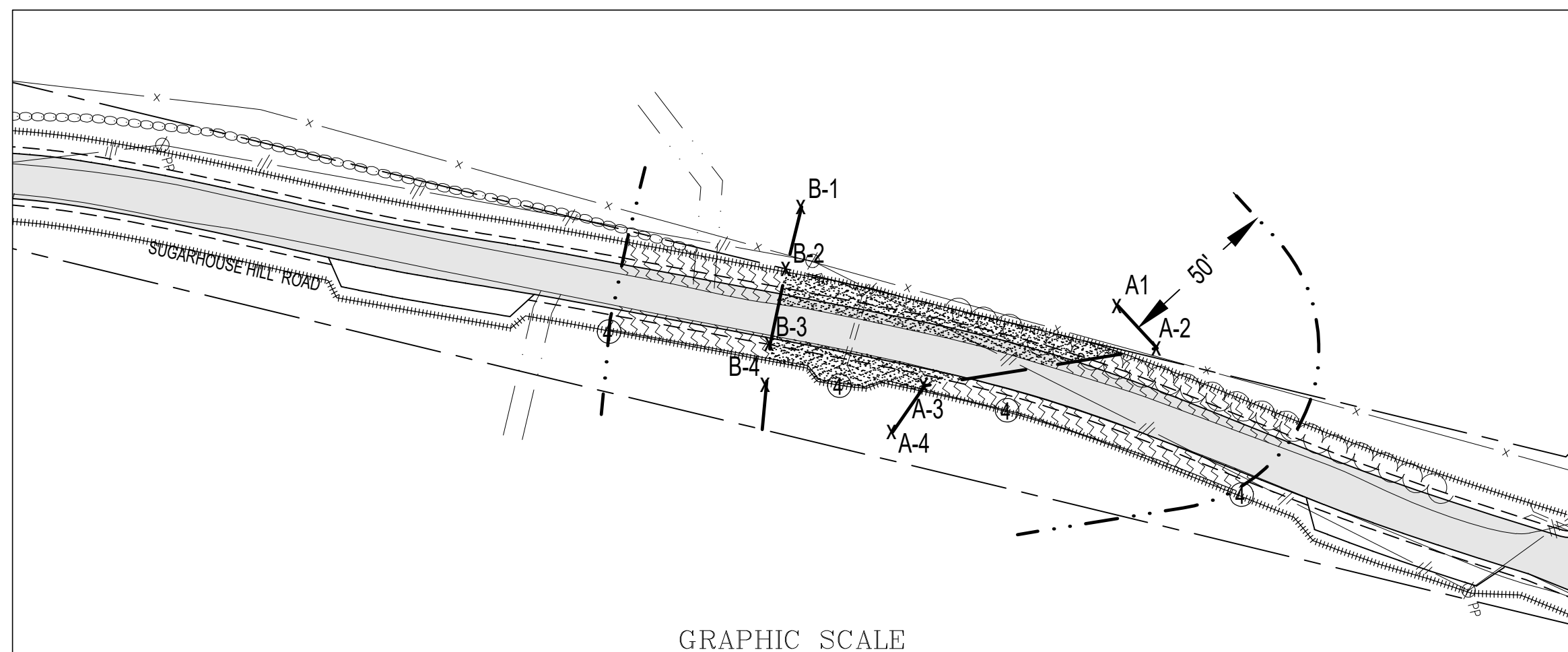
GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

Topography by Total Station
Contour Interval 2'
Datum NAVD 88

INSET - 2



GRAPHIC SCALE



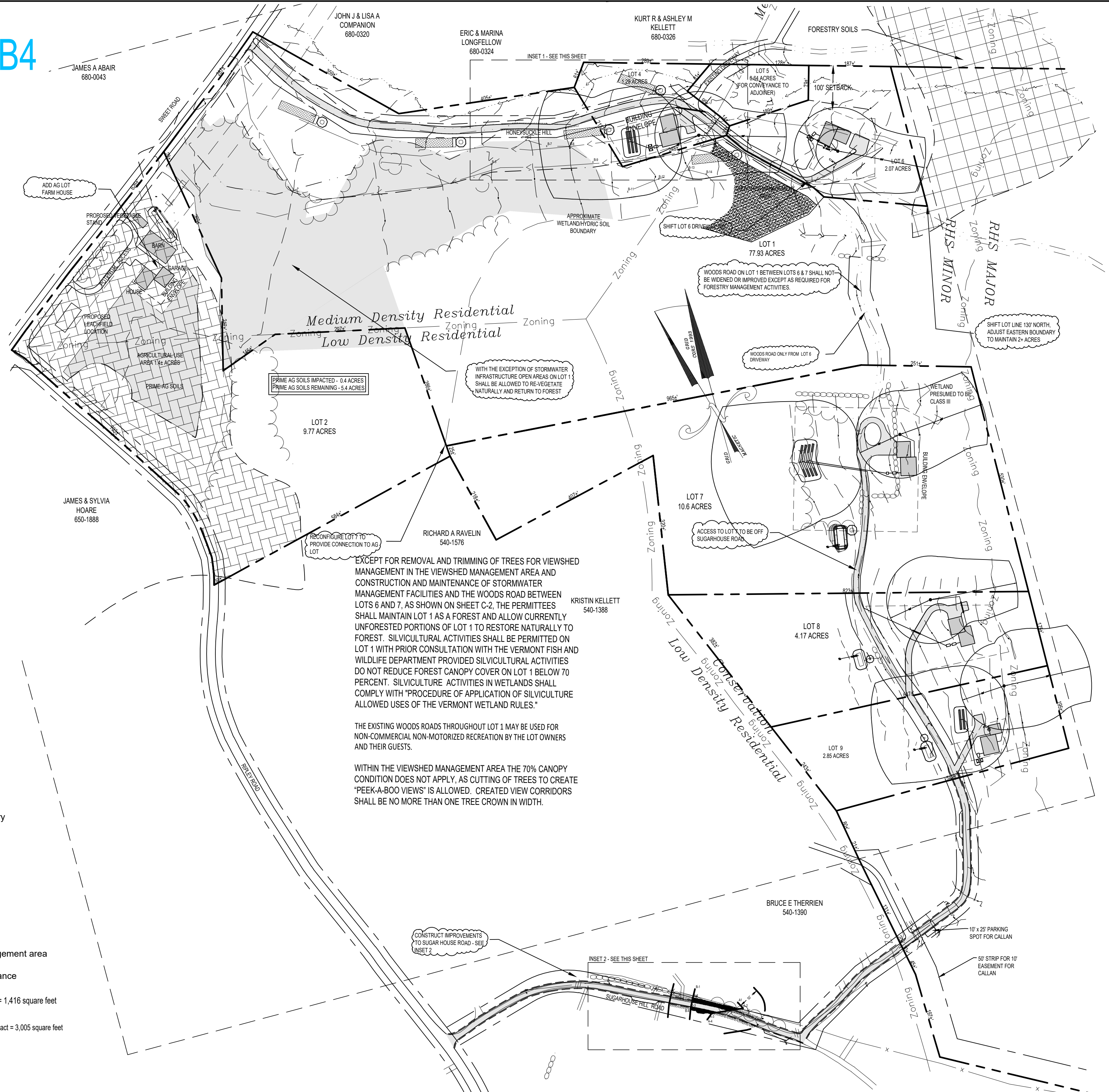
(IN FEET)
1 inch = 40 ft.

Topography by Total Station
Contour Interval 2'
Datum NAVD 88

LEGEND

- 100' contours
- Property line
- Right of way line
- Wetland boundary
- Wetland buffer
- Tree line
- Stream
- Woods road
- Stone wall
- Prime Ag soils
- Viewshed management area
- Limits of disturbance
- Total wetland impact = 1,416 square feet
- Total wetland buffer impact = 3,005 square feet
- Silt fence

WETLANDS DELINEATED BY KRISTEN ROSE, ROSE ENVIRONMENTAL, ON 4/17/2020 AND SHEILA MCINTYRE, MCCAIN CONSULTING, ON 10/5/2020 - CONFIRMED IN THE FIELD BY SHANNON MORRISON, VT DEC ON 11/19/2020. WETLAND DELINEATIONS ARE VALID FOR A 5 YEAR PERIOD. NO DISTURBANCE OF THE WETLAND AND/OR BUFFER ZONE SHOULD OCCUR WITHOUT PRIOR AUTHORIZATION FROM THE DEC OR USACE AS APPLICABLE.



GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

Topography by Total Station
Contour Interval 2'
Datum NAVD 88

THE CONTRACTOR SHALL REVIEW ALL CONSTRUCTION ACTIVITIES, COMPONENT LOCATIONS, SPECIFICATIONS, AND DETAILS PRIOR TO COMMENCEMENT OF SITE WORK AND SHALL NOTIFY MCCAIN CONSULTING OF ANY ISSUES OR DISCREPANCIES THAT ARISE FROM THAT REVIEW.

THIS IS NOT A SURVEY. THIS PLAN DOES NOT MEET THE REQUIREMENTS OF 27 VSA SEC. 1403 FOR THE FILING OF SURVEY PLATS.

EXCEPT FOR REMOVAL AND TRIMMING OF TREES FOR VIEWSHED MANAGEMENT IN THE VIEWSHED MANAGEMENT AREA AND CONSTRUCTION AND MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES AND THE WOODS ROAD BETWEEN LOTS 6 AND 7, AS SHOWN ON SHEET C-2, THE PERMITTEES SHALL MAINTAIN LOT 1 AS A FOREST AND ALLOW CURRENTLY UNFORESTED PORTIONS OF LOT 1 TO RESTORE NATURALLY TO FOREST. SILVICULTURAL ACTIVITIES SHALL BE PERMITTED ON LOT 1 WITH PRIOR CONSULTATION WITH THE VERMONT FISH AND WILDLIFE DEPARTMENT PROVIDED SILVICULTURAL ACTIVITIES DO NOT REDUCE FOREST CANOPY COVER ON LOT 1 BELOW 70 PERCENT. SILVICULTURE ACTIVITIES IN WETLANDS SHALL COMPLY WITH "PROCEDURE OF APPLICATION OF SILVICULTURE ALLOWED USES OF THE VERMONT WETLAND RULES."

THE EXISTING WOODS ROADS THROUGHOUT LOT 1 MAY BE USED FOR NON-COMMERCIAL NON-MOTORIZED RECREATION BY THE LOT OWNERS AND THEIR GUESTS.

WITHIN THE VIEWSHED MANAGEMENT AREA THE 70% CANOPY CONDITION DOES NOT APPLY. AS CUTTING OF TREES TO CREATE "PEEK-A-BOO VIEWS" IS ALLOWED, CREATED VIEW CORRIDORS SHALL BE NO MORE THAN ONE TREE CROWN IN WIDTH.



Permit #: Wet 2020-504.01
Date: September 20, 2021

PRELIMINARY
NOT FOR CONSTRUCTION

ENGINEER:
GEORGE N. MCCAIN Jr., P.E.
VT P.E. 92506

WETLAND PLAN
HONEYSUCKLE HILL
EIGHT LOT SUBDIVISION
JOHN MUTCHLER & PERRIN WILLIAMS
SWEET & RIPLEY ROADS WATERBURY, VT

SCALE : 1" = 100'
DESIGNED BY: GNM PROJECT #25130D
DRAWN BY: WDB
CHECKED BY: GNM

MCCAIN CONSULTING, INC.
93 SOUTH MAIN STREET
WATERBURY, VERMONT 05676

DATE: MAY 4, 2021

SHEET W-1



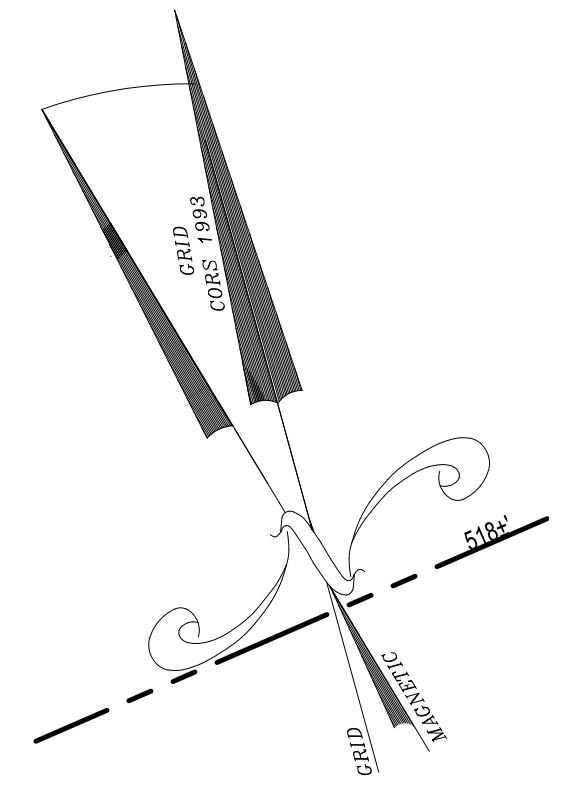
NOTE:
CONTRACTOR TO CONTACT DIG-SAFE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

Dial 811, or
888-Dig-Safe
www.digsafe.com

Exhibit B5

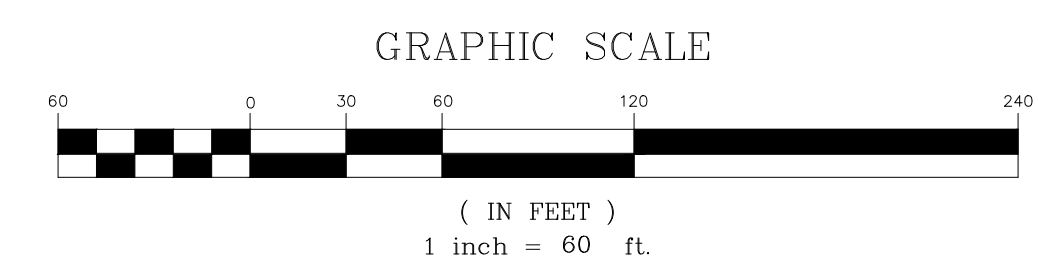


- HONEY SUCKLE ROAD DRIVEWAY NOTES**
- 0+00 TO 11+00 - FOLLOW EXISTING ROAD, WIDENED TO 16' TRAVELED WAY
 - 11+00 - INSTALL 18" HDPE CULVERT, SHED TO DITCH ON SOUTH SIDE OF ROAD
 - NO ROAD WIDENING WHERE THE EXISTING ROAD IS WITHIN THE WETLAND BUFFER, STA. 6+25 TO STA. 8+00
 - DITCHES REQUIRED ON BOTH SIDES OF ROAD TO DIRECT STORMWATER TO PONDS
 - 11+00 TO END (LOT 6 DRIVE) 14' WIDE

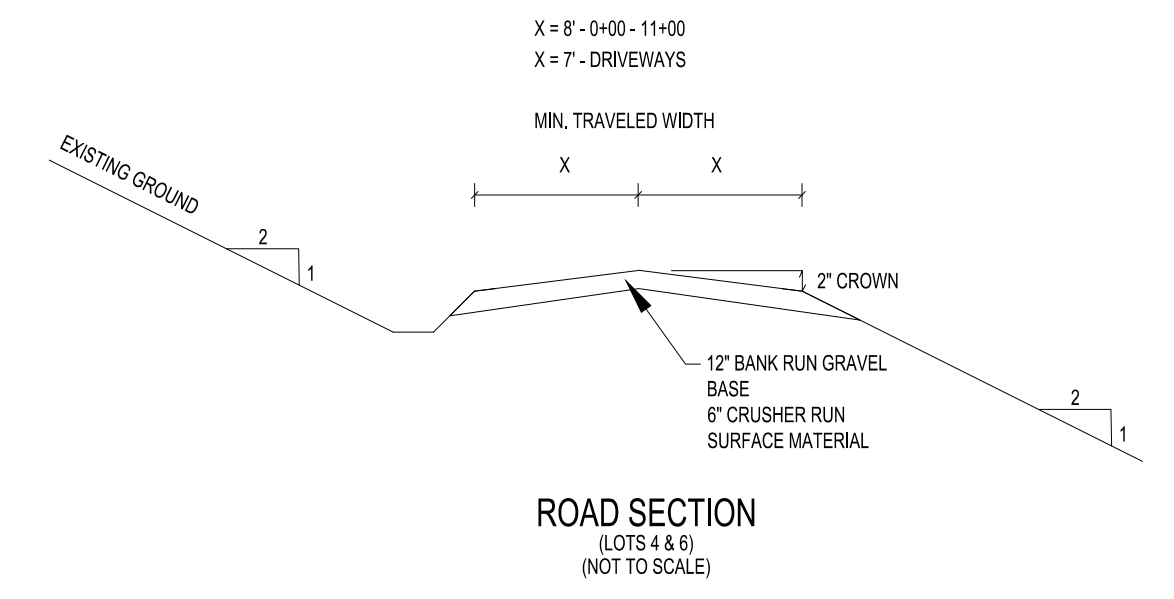


LEGEND

--- 100 ---	10' contours
--- 2' ---	2' contours
---	Wetland boundary
---	Wetland buffer
~ ~ ~	Tree line
---	Property line
---	Right of way line
---	Culvert
█	Viewshed management area



Topography by Total Station
Contour Interval 2'
Datum NAVD 88



REVISION	
12/16/2021	REVISED STORMWATER LAYOUT & TITLE BLOCK
02/26/2021	REVISIONS TO ADDRESS DRB AND FISH & WILDLIFE COMMENTS
12/14/2020	REVISED DRIVEWAY LAYOUT FOR LOT 7

ENGINEER
GEORGE N. MCCAIN Jr., P.E.
VT P.E. 92506

ACCESS PLAN
HONEYSUCKLE HILL
EIGHT LOT SUBDIVISION
JOHN MUTCHLER & PERRIN WILLIAMS
SWEET & RIPLEY ROADS WATERBURY, VT

McCAIN CONSULTING, INC.
93 SOUTH MAIN STREET
WATERBURY, VERMONT 05676

SCALE : AS NOTED
DESIGNED BY: GNM PROJECT #25130D
DRAWN BY: WDB
CHECKED BY: GNM

DATE: JULY 22, 2020 SHEET C-11A

Exhibit C1

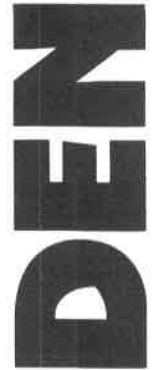
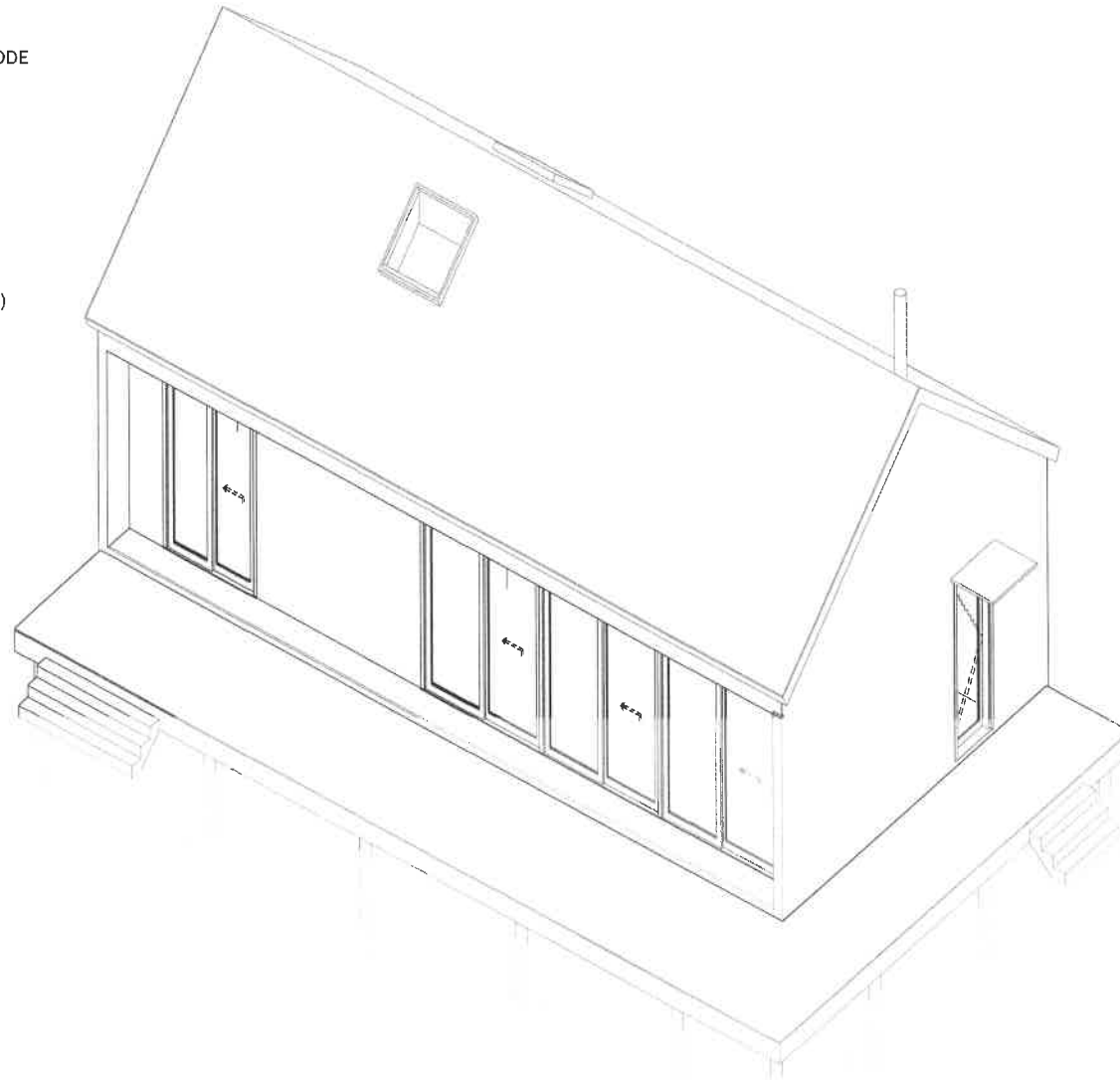
DEN BARN HOUSE PLUS

DESIGN STANDARD(S): 2018 INTERNATIONAL RESIDENTIAL CODE
SEISMIC DESIGN CATEGORY: C OR PER SE
WIND DESIGN CATEGORY: B OR PER SE
SNOW LOAD: 70 PSF OR PER SE
CONDITIONED FLOOR AREA: 1,056 SF
DECK: 573 SF
HOUSE HEIGHT: 21'-2" ABOVE GRADE
LEVELS: 1 + STORAGE
FOUNDATION: CONCRETE PIER & FOOTING
HEATING SYSTEM(S): MINI-SPLIT HEAT PUMP
WATER HEATING SYSTEM(S): TANKLESS ELECTRIC
PDF PRINT DESIGN SIZE: 24" X 36" (or print half size 12" x 18")

DEN BARNHOUSE PLUS
© DEN 2021 denoutdoors.com

SHEET INDEX

A0-00 COVER PAGE
A0-01 GENERAL NOTES
A1-00 FOUNDATION PLAN
A1-01 FLOOR PLAN
A1-02 ROOF PLAN
A1-03 FRAMING PLANS
E-01 ELECTRICAL PLAN
P-01 PLUMBING PLAN
A2-01 EXTERIOR ELEVATIONS
A2-02 EXTERIOR ELEVATIONS
A3-00 SECTIONS
A3-01 SECTIONS
A4-00 ENLARGED PLANS + INTERIOR ELEV.
A5-00 BUILDING DETAILS
A5-01 BUILDING DETAILS



- Construction Notes**
1. All work shall conform to all state and applicable codes & ordinances.
 2. No drawing is to be scaled; use dimensions only.
 3. Dimensions are taken from face of masonry, concrete or wood stud framing members unless otherwise indicated.
 4. Confirm all existing conditions before proceeding with the said work.
 5. Items not noted, but implied as necessary for the performance of the contract, are considered part of the work.
 6. All work is to be executed by mechanics skilled in their trade.
 7. All trades will cooperate with each other to facilitate the progress of the entire job.
 8. Contractor(s) is to protect the sub's and premisses during the period of construction with adequate shoring, bracing, fencing, lighting, ventilation, etc.
 9. All changes or substitutions are to be approved by the owner before being incorporated into the work.
 10. Conform to all manufacturers instructions & specifications for the installation or use of all materials unless otherwise noted.
 11. All exterior lumber & lumber in contact with masonry, concrete, or soil to be pressure treated or properly protected to avoid deterioration.

Issued
CONSTRUCTION DOCUMENTS

Issued 01.08
ISSUED FOR CONSTRUCTION

Revisions

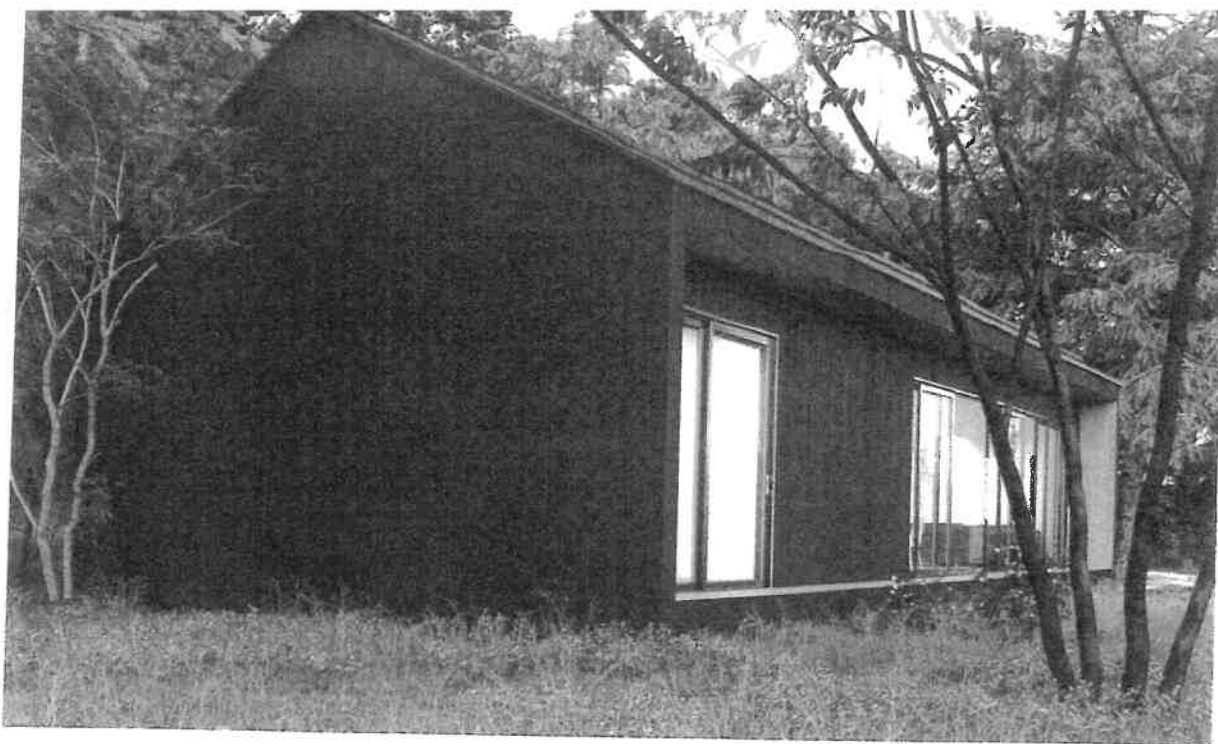
Project
DEN BARNHOUSE PLUS

Sheet Title
**COVER PAGE
A0-00**

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Exhibit C2





- **ALL ELEVATIONS: Right/LEFT /REAR /FRONT -Foundation to roof peak= 21 ft**
- **2 BDR : Vertical Siding Combination of Wood/Metal -**
- **Cladding Color : Brown/ Dark Earth Tones**
- **Standing Seam metal roof : 8/12 pitch**
- **Top of foundation to roof peak 21 ft -**
- **Area 1152 sq ft. (48' Length x 24' Width)**
- **Trim: black**

Exhibit C3

Exhibit C4

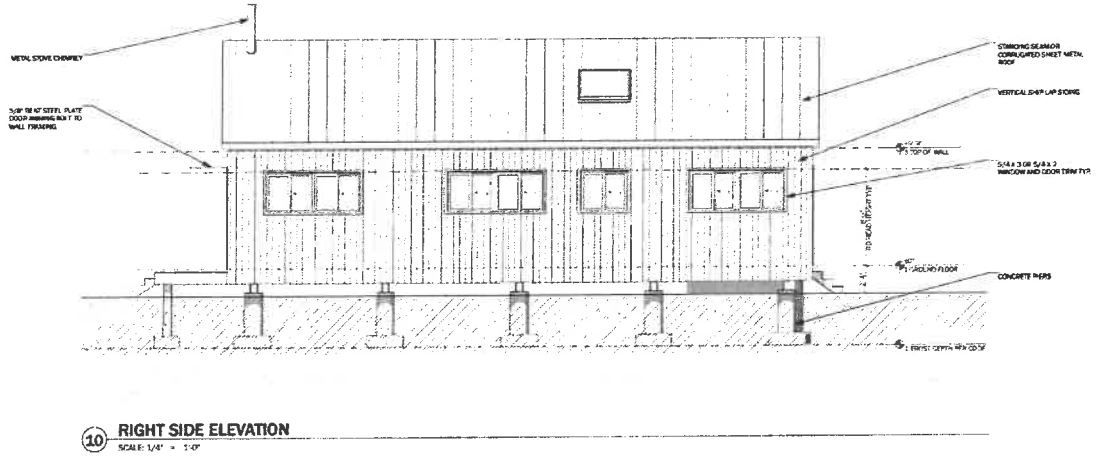
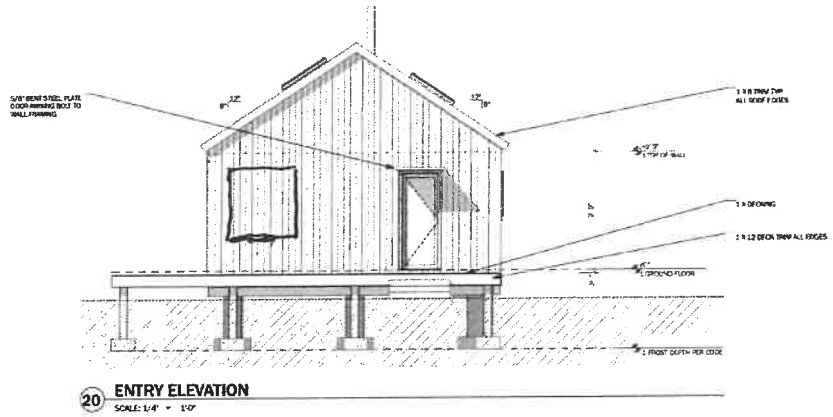
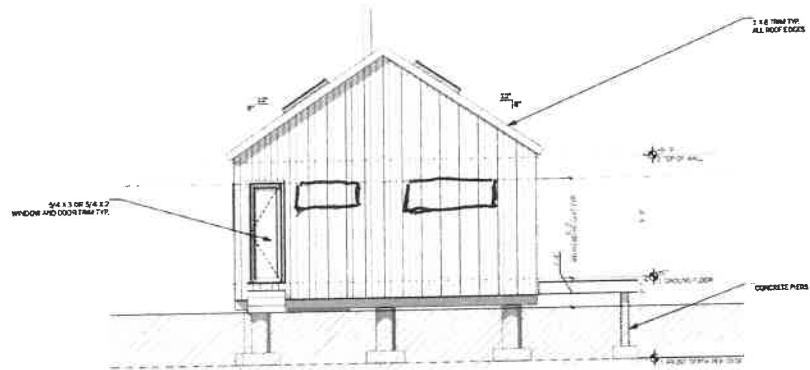
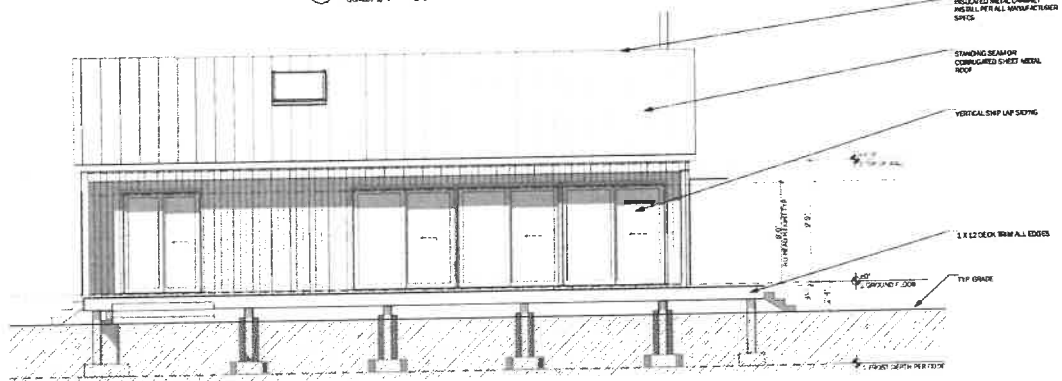


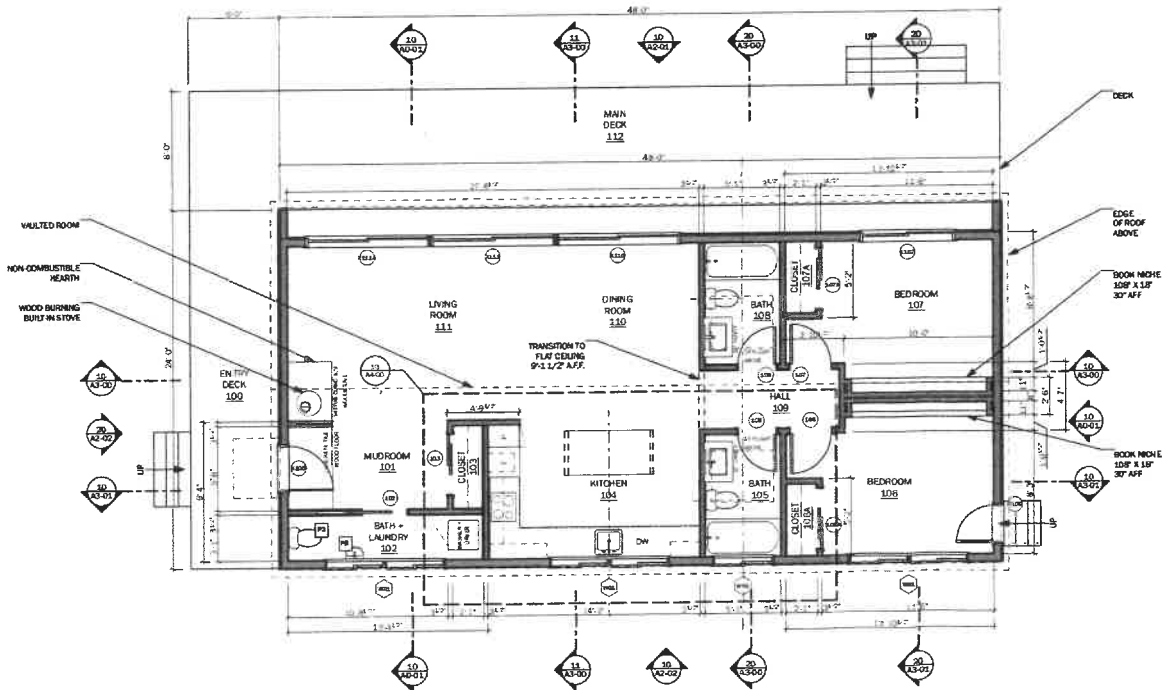
Exhibit C5



11 REAR ELEVATION
SCALE: 1/4" = 1'-0"



10 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



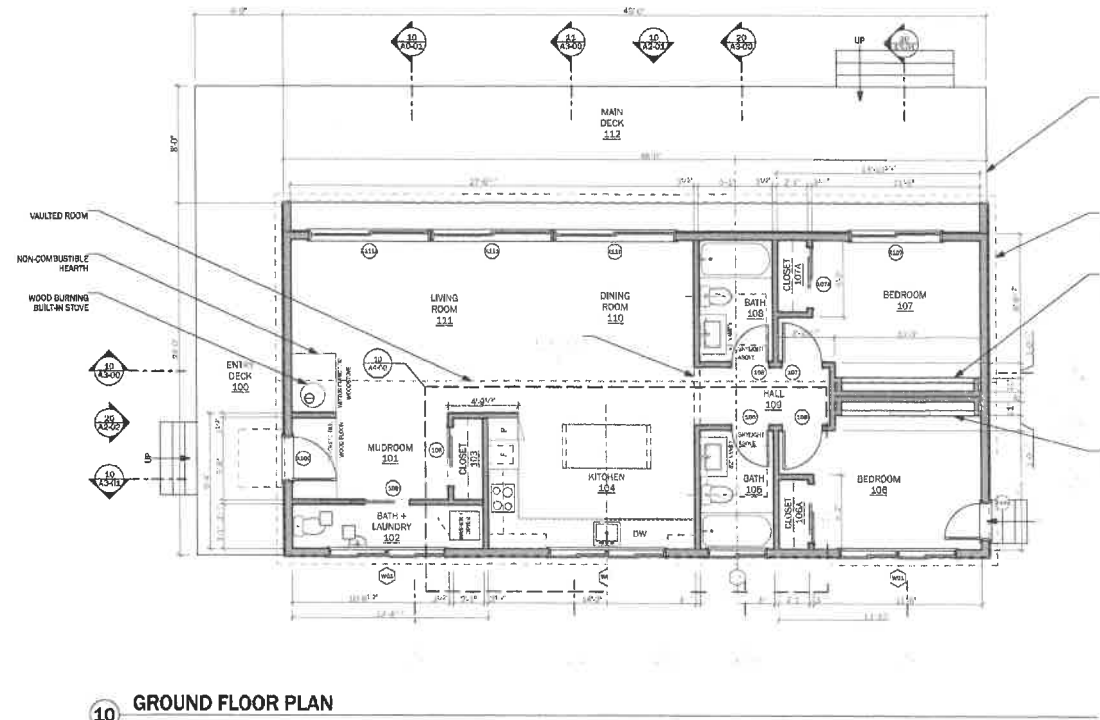
10 GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

Exhibit C6

EXTERIOR DOOR SCHEDULE						
View from Exterior						
Dimensions	2'-0" x 6'-0"	2'-0" x 6'-0"	6'-0" x 8'-0"	8'-0" x 8'-0"	8'-0" x 6'-0"	8'-0" x 6'-0"
Manufacturer	MARVIN	MARVIN	MARVIN	MARVIN	MARVIN	MARVIN
Style	ELEVATE	ELEVATE	ELEVATE	ELEVATE	ELEVATE	ELEVATE
Product #	ELF03080 XL	ELF02080 XR	ELF09080 XD	ELF06080 XT	ELF02080 XG	ELF02080 XH
Hardware and Element ID	X100	X100	X107	X110	X111	X11A
Hardware Finish	BRUSHED NICKEL HARDWARE	BRUSHED NICKEL HARDWARE	BRUSHED NICKEL HARDWARE	BRUSHED NICKEL HARDWARE	BRUSHED NICKEL HARDWARE	BRUSHED NICKEL HARDWARE
Notes	All finishes to be confirmed by owner	All finishes to be confirmed by owner	All finishes to be confirmed by owner	All finishes to be confirmed by owner	All finishes to be confirmed by owner	All finishes to be confirmed by owner

WINDOW SCHEDULE	
SIZES LISTED ARE RO SIDES	
*IF FOLLOWING WINDOW ON SHEET IS 40-50 ADD 1/2" TO WINDOW RO HEIGHT	
ID	W01
RO SIZE	8'-0" x 3'-6 1/4"
Manufacturer	MARVIN
Style	ELEVATE
Product #	EL04842 2W
Frame Material	FIBERGLASS AND WOOD
Frame Finish - Exterior	FIBERGLASS
Frame Finish - Interior	WOOD
Coating Material	WOOD
Cladding Style	PICTURE FRAME
Exterior Trim Finish	3/4" WOOD TRIM TO MATCH SIDING
Interior Trim Finish	3/4" WOOD TRIM TO MATCH INTERIOR
Hardware Finish	BRUSHED NICKEL
Notes	ALL FINISHES TO BE CONFIRMED BY OWNER

DOOR SCHEDULE				
ID	TYPE	Width	Height	Notes
102	POCKET DOOR	3'-0"	7'-0"	FLAT PANEL SOLID CORE, JELOWEN
103	SLIDING DOOR	4'-0"	7'-0"	FLAT PANEL SOLID CORE, JELOWEN
105	SWING DOOR	2'-0"	7'-0"	FLAT PANEL SOLID CORE, JELOWEN
106	SWING DOOR	2'-0"	7'-0"	FLAT PANEL SOLID CORE, JELOWEN
108A	SLIDING DOOR	4'-0"	7'-0"	FLAT PANEL SOLID CORE, JELOWEN
107	SWING DOOR	2'-0"	7'-0"	FLAT PANEL SOLID CORE, JELOWEN
107A	SLIDING DOOR	4'-0"	7'-0"	FLAT PANEL SOLID CORE, JELOWEN
108	SWING DOOR	2'-0"	7'-0"	FLAT PANEL SOLID CORE, JELOWEN



10 GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

Prepared exclusively for Hayden Barile at hayden.barile@snowflake.com

DEN

DEN BARNHOUSE PLUS

FLOOR PLANS

A1-01

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Exhibit D1

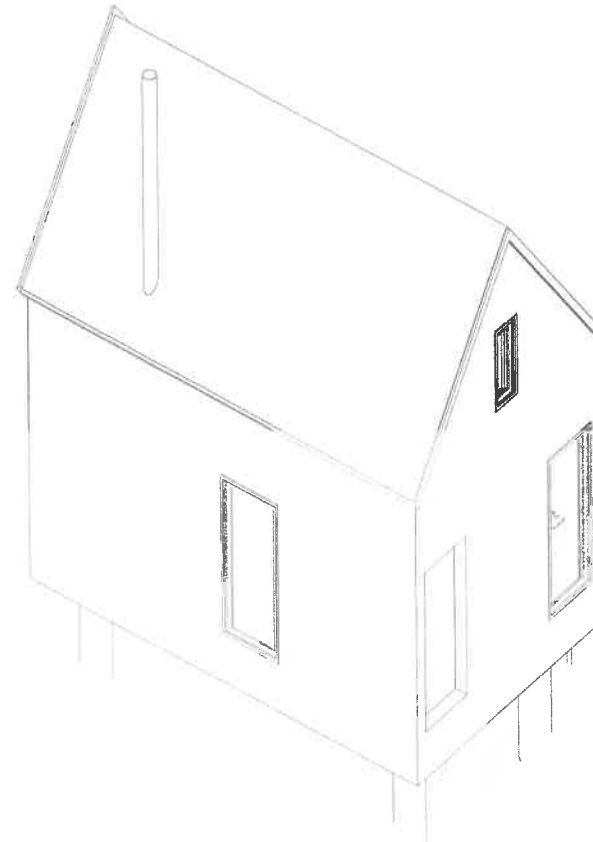
ALPINE TINY HOUSE

DESIGN STANDARD(S): 2018 INTERNATIONAL RESIDENTIAL CODE
SEISMIC DESIGN CATEGORY: C OR PER SE
WIND DESIGN CATEGORY: B OR PER SE
SNOW LOAD: 70 PSF OR PER SE
CONDITIONED FLOOR AREA: 303 SF
HOUSE HEIGHT: 19'-8" ABOVE GRADE
LEVELS: 1
FOUNDATION: CONCRETE PIER & FOOTING
HEATING SYSTEM(S): MINI-SPLIT HEAT PUMP OR ELEC. HEATED FLOOR
WATER HEATING SYSTEM(S): TANKLESS ELECTRIC OR NAT. GAS
PDF PRINT DESIGN SIZE: 24" X 36" (or print half size 12" x 18")

DEN WASHROOM
© DEN 2022 denoutdoors.com

SHEET INDEX

- A0-00 COVER PAGE
- A0-01 GENERAL NOTES
- A1-00 FLOOR PLANS
- A1-01 FRAMING PLANS
- E-01/P-01 ELECTRICAL PLAN + PLUMBING PLAN
- A2-00 EXTERIOR ELEVATIONS
- A3-00 SECTIONS
- A4-00 ENLARGED PLANS + INTERIOR ELEV.
- A5-00 BUILDING DETAILS
- A5-01 BUILDING DETAILS
- A9-00 3D VIEWS



NEED

Construction Notes

1. All work shall conform to all state and applicable codes & ordinances.
2. No drawing to be excused any dimensions on it.
3. Dimensions are taken from face of masonry, concrete or wood stud framing members unless otherwise indicated.
4. Confirm all existing conditions before proceed with the said work.
5. Items not noted, but implied as necessary for performance of the contract, are considered part of the work.
6. All work is to be executed by mechanics skilled in their trade.
7. All trades will cooperate with each other to facilitate the progress of the entire job.
8. Contractor(s) is to protect the public and premises during the period of construction with adequate shoring, bracing, fencing, lighting, ventilation, etc.
9. All changes or substitutions are to be approved by the owner before being incorporated into the work.
10. Conform to all manufacturers instructions & specifications for the installation or use of all materials unless otherwise noted.
11. All exterior finishes to conform in contact with masonry, concrete, or soil to be pressure treated.

Issued

CONSTRUCTION DOCUMENTS

Issued Date

ISSUED FOR CONSTRUCTION

Revisions

Project

ALPINE TINY HOUSE

Project Location

Sheet Title

COVER PAGE

A0-00

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ALPINE ACCESSORY DWELLING (1 Bedroom) :

14 ft x 24ft

21 ft foundation to roof peak

Brown Vertical wood siding and Standing seam Metal roof
elevations/

Exhibit D2

Exhibit D3

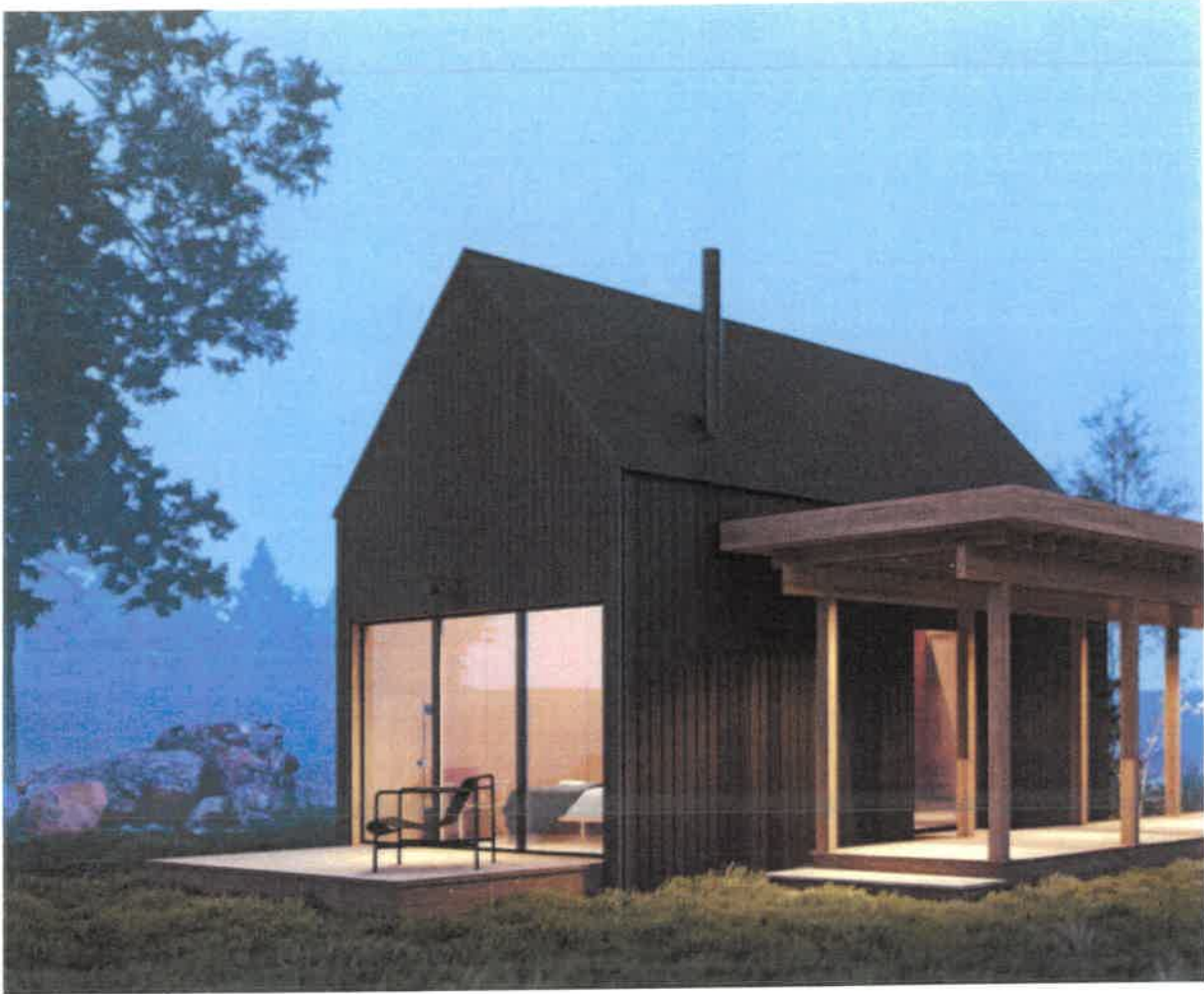


Exhibit D4

DOOR SCHEDULE				
ID	TYPE	Width	Height	Notes
101	SWING DOOR	2'-7"	6'-8"	FLAT PANEL SOLID CORE ELEVATE

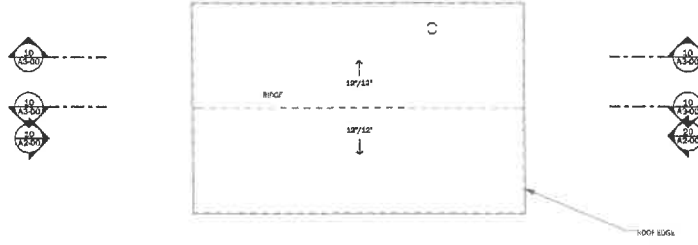
EXTERIOR DOOR SCHEDULE		
View from Opening Side *IF HORIZONTAL DIVISION ON SCHEDULE AS-BUILT 1/2" TO WINDOW HEIGHT		
Dimensions	11'-11 1/2" x 7'-2 1/2"	7'-2 1/2" x 7'-2 1/2"
Manufacturer	MARVIN	MARVIN
Style	ELEVATE	ELEVATE
Product #	ELSP02 OTX000	ELF0300B01
Hardware and Element ID	X101	X100
Hardware Finish	BRONZE	BRONZE
Notes	VERIFY FINISHES WITH OWNER	VERIFY FINISHES WITH OWNER

* SCHEDULE PROVIDES MANUFACTURER'S ROOM DIMENSIONS (WIDTH AND HEIGHT) AS AVAILABLE FROM CUSTOMER ORDER.

** ALWAYS CONFIRM EXACT RV BY VISUAL WINDOW HEIGHT.

WINDOW SCHEDULE			
SIZES LISTED ARE RO SIZES			
ID	W01	W02	
RO SIZE	1'-6" x 2'-11"	3'-3" x 6'-11"	
Manufacturer	MARVIN	MARVIN	
Style	ELEVATE PICTURE	ELEVATE PICTURE	
Product #	ELCAP 1735	ELCAP7771	
Frame Material	FIBERGLASS	FIBERGLASS	
Frame Finish - Exterior	FIBERGLASS	FIBERGLASS	
Frame Finish - Interior	WOOD	WOOD	
Coating Material	WOOD	WOOD	
Coating Style	PICTURE FRAME	PICTURE FRAME	
Exterior Trim Finish	5/4 WOOD TO MATCH SIDING FINISH	5/4 WOOD TO MATCH SIDING FINISH	
Interior Trim Finish	5/4 WOOD TO MATCH SIDING FINISH	5/4 WOOD TO MATCH SIDING FINISH	
Hardware Finish	BRONZE	BRONZE	
Notes	VERIFY FINISHES WITH OWNER	VERIFY FINISHES WITH OWNER	
Quantity	1	2	

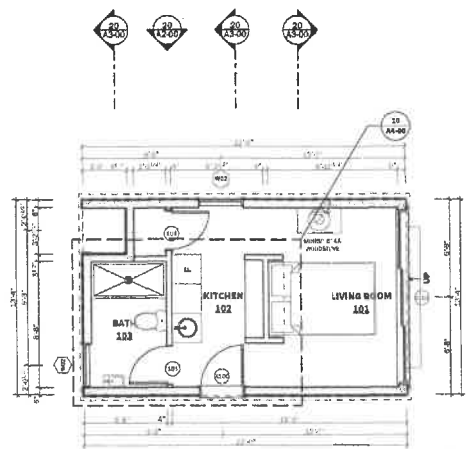
* SCHEDULE PROVIDES MANUFACTURER'S STOCK SIDING TARGET DIMS AND ALLOWANCE FOR CUSTOM ORDER.



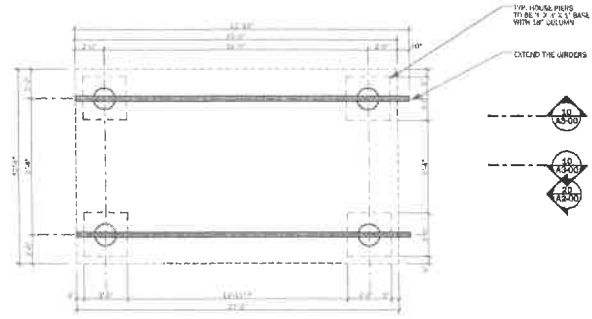
1.0 ROOF PLAN
SCALE: 1/4" = 1'-0"



1.0 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



1.0 GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"



* SEE PLAN REQUIREMENTS ON 1670 FOR WINDOW CENTERLINES

NEED

- Construction Notes**
- All work shall conform to all state and applicable codes & ordinances.
 - The drawing is to be used only as a guide and not a substitute for a contract.
 - Dimensions are taken from face of masonry, concrete or steel stud framing members unless otherwise indicated.
 - Confirm all existing conditions before proceed with the add work.
 - Items not noted, but implied as necessary for the performance of the contract, are considered part of the work.
 - All work to be executed by mechanics skilled in their trade.
 - All trades will cooperate with each other to facilitate the progress of the entire job.
 - Contractor(s) is to protect the public and premises during the period of construction with adequate staking, bracing, fencing, lighting, ventilation, etc.
 - All changes or substitutions are to be approved by the owner before being incorporated into the work.
 - Conform to all manufacturer's instructions & specifications for the installation or use of all materials unless otherwise noted.
 - All exterior Lumber & lumber in contact with masonry, concrete, or soil to be pressure treated.

Issued **CONSTRUCTION DOCUMENTS**

Issued Date

ISSUED FOR CONSTRUCTION

Revisions

Project

ALPINE TINY HOUSE

Project Location

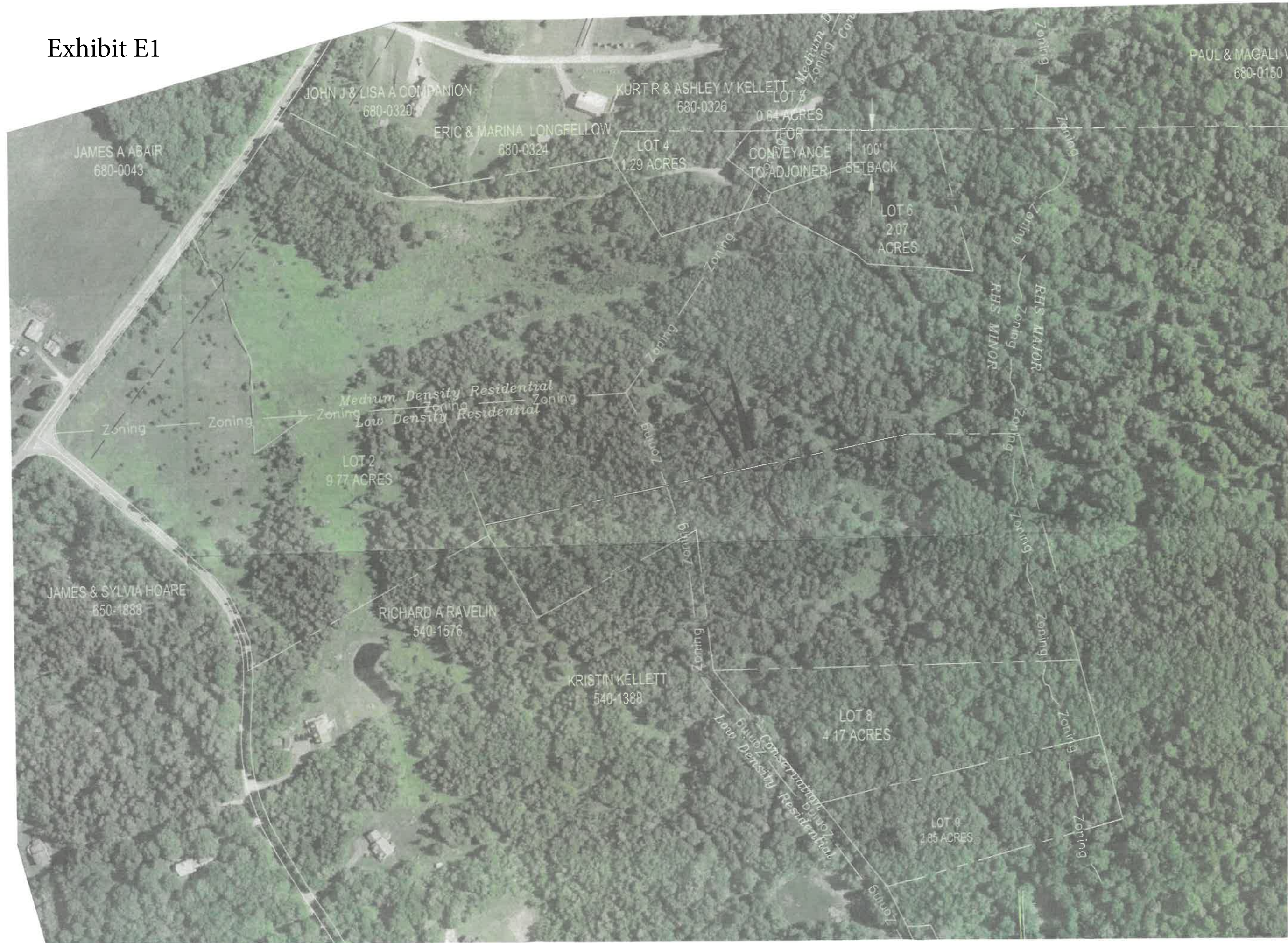
Sheet Title

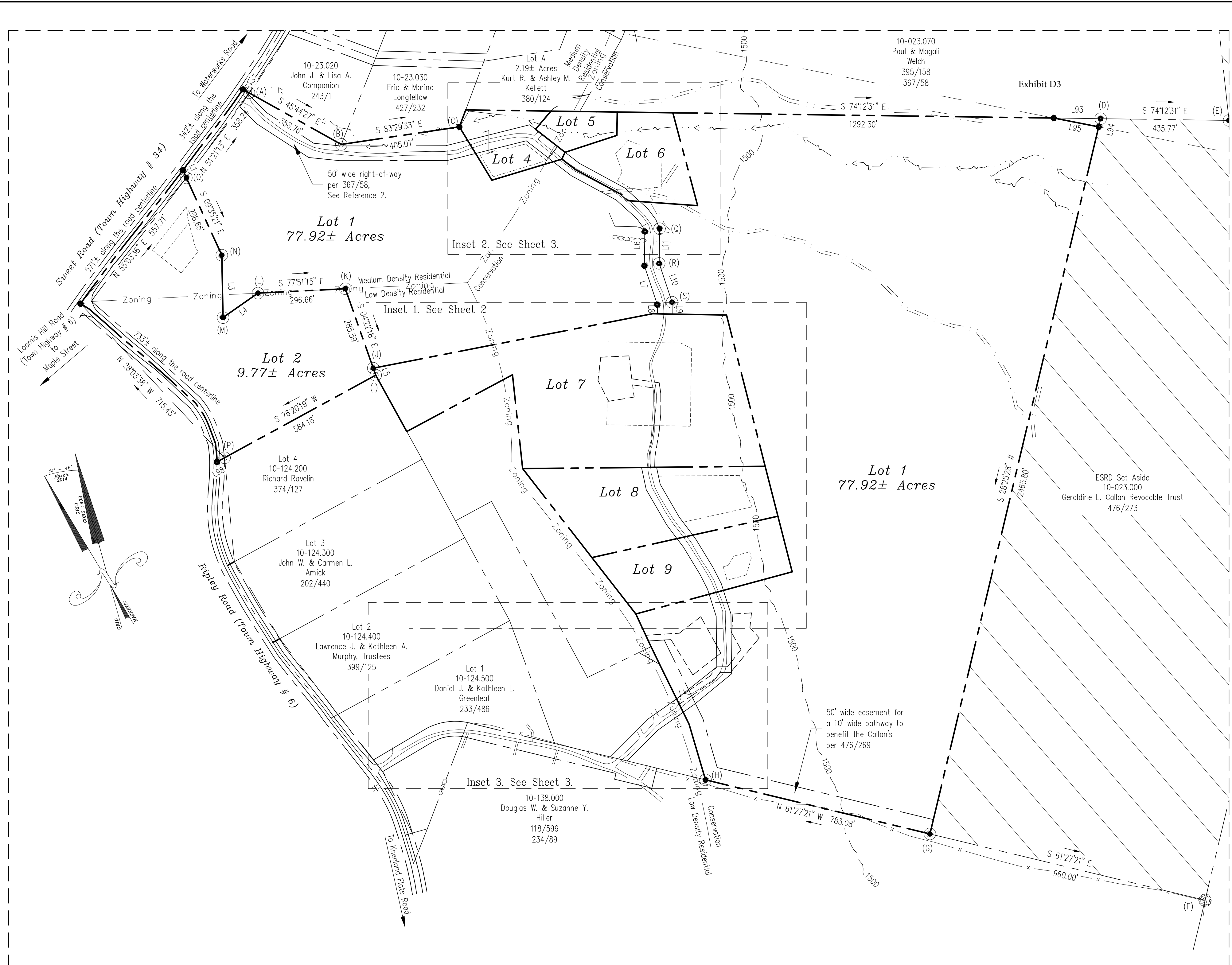
FLOOR PLANS

A1-00

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Exhibit E1





LINE	BEARING	DISTANCE
L1	S 09°35'21" E	28.4
L2	S 45°44'27" E	23.4
L3	S 13°53'50" W	211.70
L4	N 70°02'11" E	144.80
L5	S 04°22'23" E	25.00
L6	S 15°38'53" W	115.94
L7	S 03°20'41" E	139.25
L8	S 14°27'34" W	31.15
L9	N 14°27'34" E	40.28
L10	N 03°20'41" W	138.72
L11	N 15°38'53" E	117.80
L12	S 74°02'59" E	16.50
L93	S 74°12'31" E	159.01
L94	S 28°25'28" W	28.53
L95	S 63°52'50" E	155.29
L98	S 76°20'19" W	30.1

Monument Descriptions	
A	5/8" IRF, flush, G.F. Dubois, 595, Berlin, VT
B	5/8" IRF, 18" reveal, G.F. Dubois, 595, Berlin, VT
C	Nail in root
D	1/2" IRS, 12" reveal, Van Iderstine, 719 (2017)
E	1/2" IRS, 14" reveal, Van Iderstine, 719 (2014)
F	Stone Pile found, Deteriorated
G	1/2" IRS, 12" reveal, Van Iderstine, 719 (2017)
H	1/2" IRS, 10" reveal, Van Iderstine, 719 (2019)
I	1/2" IRF, 12" reveal, LOWE
J	1/2" IRS, 9" reveal, Van Iderstine, 719 (2021)
K	1/2" IRS, 8" reveal, Van Iderstine, 719 (2021)
L	1/2" IRS, 8" reveal, Van Iderstine, 719 (2021)
M	1/2" IRS, 8" reveal, Van Iderstine, 719 (2021)
N	1/2" IRS, 9" reveal, Van Iderstine, 719 (2021)
O	1/2" IRS, 10" reveal, Van Iderstine, 719 (2021)
P	1/2" IRF, 3" reveal, LOWE
Q	1/2" IRS, 8" reveal, Van Iderstine, 719 (2021)
R	1/2" IRS, 8" reveal, Van Iderstine, 719 (2021)
S	1/2" IRS, 8" reveal, Van Iderstine, 719 (2021)

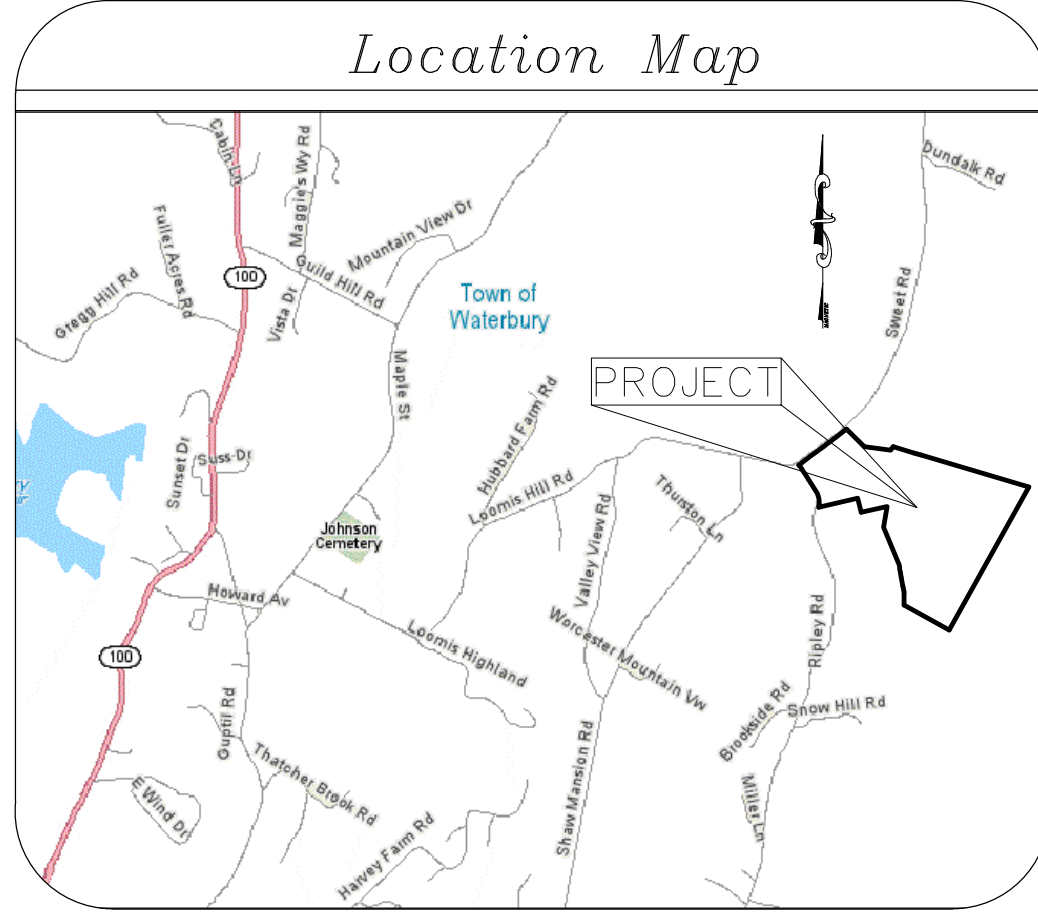
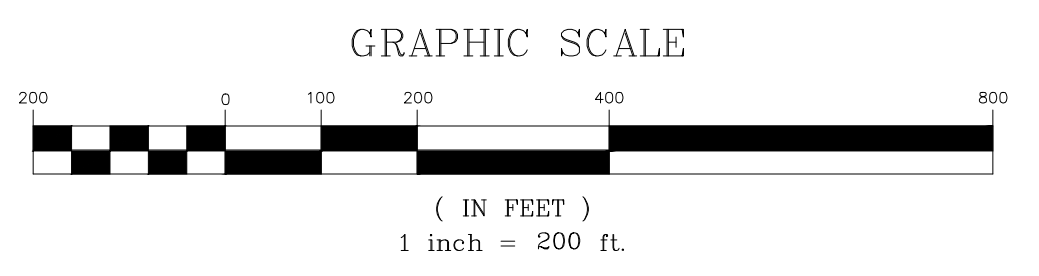
LEGEND	
	1/2" Iron rod set with cap marked "VAN IDERSTINE 719"
	Iron rod found
	Stone pile found
	Calculated point
	Property line
	Right-of-Way line
	Adjointer line
	Tie line
	Septic easement
	Building envelope
	1500' elevation contour line
	Zoning district line
	Barb wire fence
	Stream
	Woods road / trail
	Book 118 Page 599 of the Land Records

Exhibit E2

TITLE SOURCE: Waterbury Land Records
 1. Geraldine L. Callan, trustee of the Felix J. Callan Irrevocable Trust, successor to the Felix J. Callan Revocable Trust, u/1/a dated February 15, 2000 and of the Geraldine L. Callan Revocable Trust, u/1/a dated February 15, 2000, by Trustee's deed to Honeysuckle Hill Development LLC, dated January 29, 2021, recorded in Book 476, Page 269 of the Waterbury Land Records.

REFERENCES:
 1. A plat entitled "Survey and Subdivision of a Portion of the Lands of (Balance of Lyon Lot) Felix J. Callan Revocable Trust and Geraldine L. Callan Revocable Trust, Waterbury, Vermont, scale 1" = 200", by McCain Consulting, Inc., dated October 22, 2019, recorded on Map Slide 495-01 of the Waterbury Land Records.
 2. A plat entitled "Survey and Subdivision of a Portion of the Lands of Felix J. Callan Revocable Trust and Geraldine L. Callan Revocable Trust, Waterbury, Vermont, scale 1" = 100", by McCain Consulting, Inc., dated September 29, 2014, last revised 10/4/16, recorded on Map Slide 409-02 of the Waterbury Land Records.

NOTES:
 1. This map is based on the research of the Waterbury Land Records, physical evidence found, a total station traverse, single frequency post processed GPS positions of the easterly monument of the Welch Lot and a GPS RTK survey utilizing the Vermont "VECTOR" network with a minimum precision ratio that meets the standards for suburban surveys, set by the Vermont State Board of Land Surveyors Rules effective January 7, 2013, performed by Daniel Auzara, Scott J. Herring and Keith R. Van Iderstine between November, 2009 and November, 2021.
 2. Except where otherwise noted, no attempt was made to identify and/or locate any easements or rights-of-way that may exist, either recorded or unrecorded. The Sweet Road (Town Highway #34) and Ripley Road (Town Highway #6) rights-of-way are assumed to be 3 rods wide and centered on the traveled way.
 3. This subdivision is subject to the provisions of the following permits:
 Wastewater System and Potable Water Supply Permit WW-5-5124-2.
 Act 250 Permit # 5W1206-5 (Pending).
 Town Subdivision Permit #141-20.
 Per Condition 6 of Town Permit #141-20 there shall be no further subdivision of Lot 2, which is intended for agricultural use only plus one primary single family residence (and associated accessory structures and uses). Per Condition 7 of Town Permit #141-20 Lot 5 cannot be developed.
 4. Bearings are based on Vermont State Plane Grid North, NAD 1983 as observed by McCain Consulting, Inc., on March 26, 2014. The bearings shown on the survey in Reference 1 are Magnetic North.
 5. Research by Keith R. Van Iderstine. Map by Scott J. Herring.



Zoning Chart			
District	Low Density Residential	Medium Density Residential	Conservation
Minimum Lot Size	5 Acres	2 Acres	10 Acres
Minimum Road Frontage	300'	200'	300'
Front Setback	70'	60'	100'
Side Setback	75'	50'	100'
Rear Setback	75'	50'	100'
Maximum Height	35'	35'	35'
Maximum Lot Coverage	N/A	N/A	N/A

WATERBURY, VT TOWN CLERK'S OFFICE
 Received for record _____ A.D. 20____
 at _____ o'clock _____ minutes _____ m.
 and recorded in _____
 Attest: _____
 Town Clerk

Final Plan Approved by
 Waterbury, Vt Development Review Board

 Date

 Chair, DRB

STATE OF VERMONT
 KEITH R. VAN IDERSTINE
 LICENSED LAND SURVEYOR
 No. 719
 08/21/2021
 21352D
 Keith R. Van Iderstine, L.S. 719
 This map complies with
 27 VSA 1403 and 26 VSA 2596

REVISIONS
 08/02/2021 INCLUDED CONDITIONS 6 AND 7 OF TOWN PERMIT #141-20 IN NOTES

SURVEY AND SUBDIVISION OF THE LANDS OF
Honeysuckle Hill Development LLC
 Ripley Road and Sweet Road Waterbury, Vermont

SCALE : 1" = 200'
 PROJECT : Mc25130D
 DRAWING : 25130Dsv 20210525.DWG

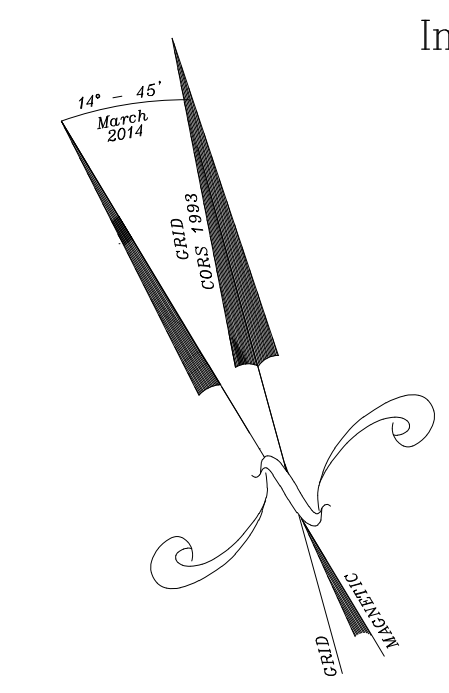
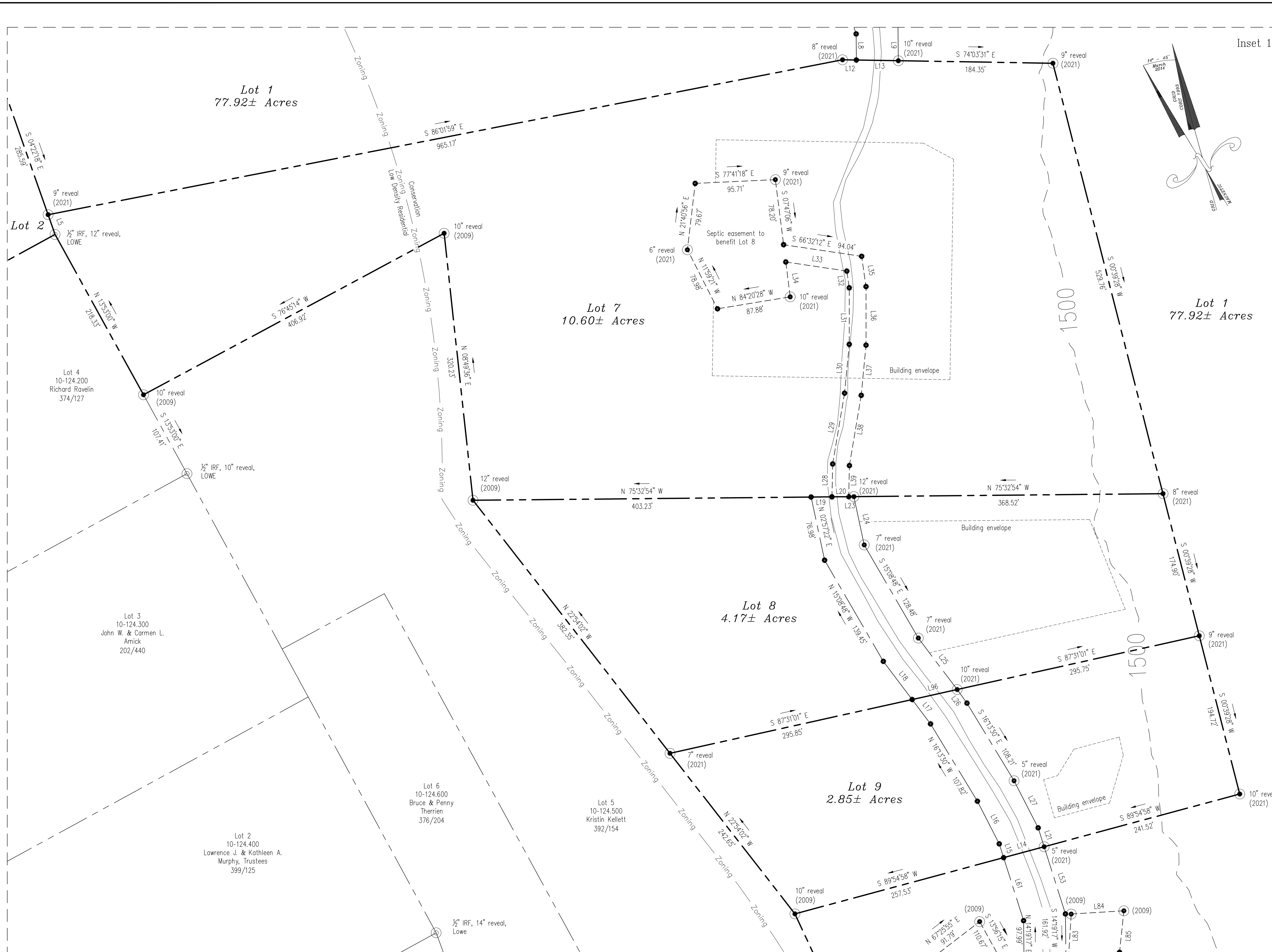
McCain Consulting, Inc.
 93 SOUTH MAIN STREET
 WATERBURY, VERMONT 05676

DATE: July 21, 2021 SHEET 1 OF 3

TITLE SOURCE: Waterbury Land Records
 1. Geraldine L. Callan, trustee of the Felix J. Callan Irrevocable Trust, successor to the Felix J. Callan Revocable Trust, u/1/a dated February 15, 2000 and of the Geraldine L. Callan Revocable Trust, u/1/a dated February 15, 2000, by Trustee's deed to Honeysuckle Hill Development LLC, dated January 29, 2021, recorded in Book 476, Page 269 of the Waterbury Land Records.

Exhibit E3

See Sheet 1 for References and Notes



LINE	BEARING	DISTANCE
L5	S 04°22'23" E	25.00'
L8	S 14°27'34" W	31.15'
L9	N 14°27'34" E	40.28'
L12	S 74°02'59" E	16.50'
L13	S 74°02'59" E	50.02'
L14	S 89°54'58" W	50.07'
L15	N 02°35'10" W	17.26'
L16	N 12°07'24" W	57.11'
L17	N 22°02'10" W	36.38'
L18	N 22°02'10" W	57.08'
L19	S 75°32'54" E	24.88'
L20	S 75°32'54" E	20.01'
L21	S 02°39'00" E	23.62'
L23	S 75°32'54" E	6.17'
L24	S 02°57'24" W	58.84'
L25	S 22°02'11" E	76.88'
L26	S 20°53'50" E	20.03'
L27	S 12°07'24" E	63.08'
L28	N 16°15'25" E	39.18'
L29	N 24°31'33" E	85.66'
L30	N 20°30'00" E	58.48'
L31	N 14°59'16" E	67.41'
L32	N 06°41'41" E	20.16'
L33	N 66°32'12" W	73.57'
L34	S 07°47'06" W	41.87'
L35	S 06°41'41" W	36.47'
L36	S 14°59'16" W	69.82'
L37	S 20°30'00" W	60.15'
L38	S 24°31'33" W	84.91'
L39	S 16°15'25" W	37.10'
L53	S 02°34'05" E	84.03'
L61	N 02°35'10" W	78.79'
L83	N 18°33'43" E	64.09'
L84	S 78°29'57" E	62.90'
L85	S 20°54'41" W	49.81'
L96	S 87°31'01" E	54.96'

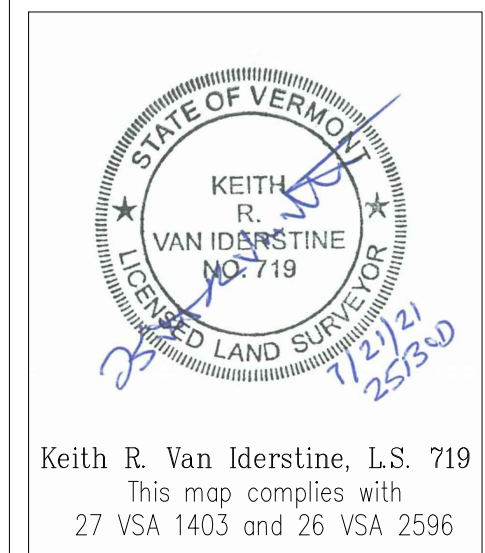
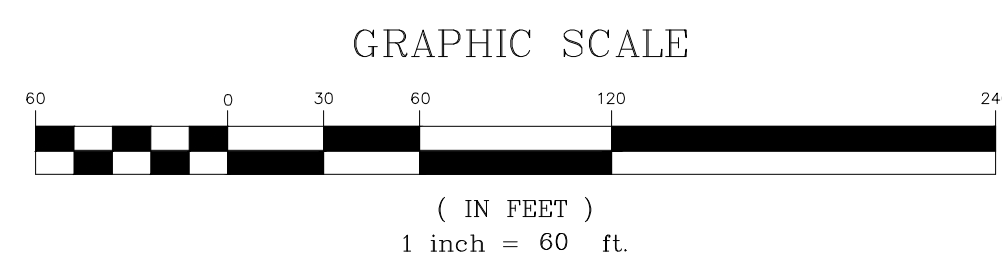
LEGEND

- 1/2" iron rod set with cap marked "VAN IDERSTINE 719"
- (2009) 1/2" iron rod set with 8" - 15" reveal with cap marked "VAN IDERSTINE 719"
- iron rod found
- Calculated point
- Property line
- - - Right-of-Way line
- - - Adjoiner line
- - - Septic easement
- - - Building envelope
- 1500- 1500' elevation contour line
- - - Zoning district line

118/599 Book 118 Page 599 of the Land Records

WATERBURY, VT TOWN CLERK'S OFFICE
 Received for record _____ A.D. 20____
 at _____ o'clock _____ minutes ____ m.
 and recorded in _____
 Attest: _____ Town Clerk

Final Plan Approved by
 Waterbury, Vt Development Review Board
 Date _____
 Chair, DRB



SURVEY AND SUBDIVISION OF THE LANDS OF

Honeysuckle Hill Development LLC

Ripley Road and Sweet Road Waterbury, Vermont

SCALE : 1" = 60'
 PROJECT : Mc25130D
 DRAWING : 25130Dsv 20210525.DWG

DATE: July 21, 2021

SHEET 2 OF 3

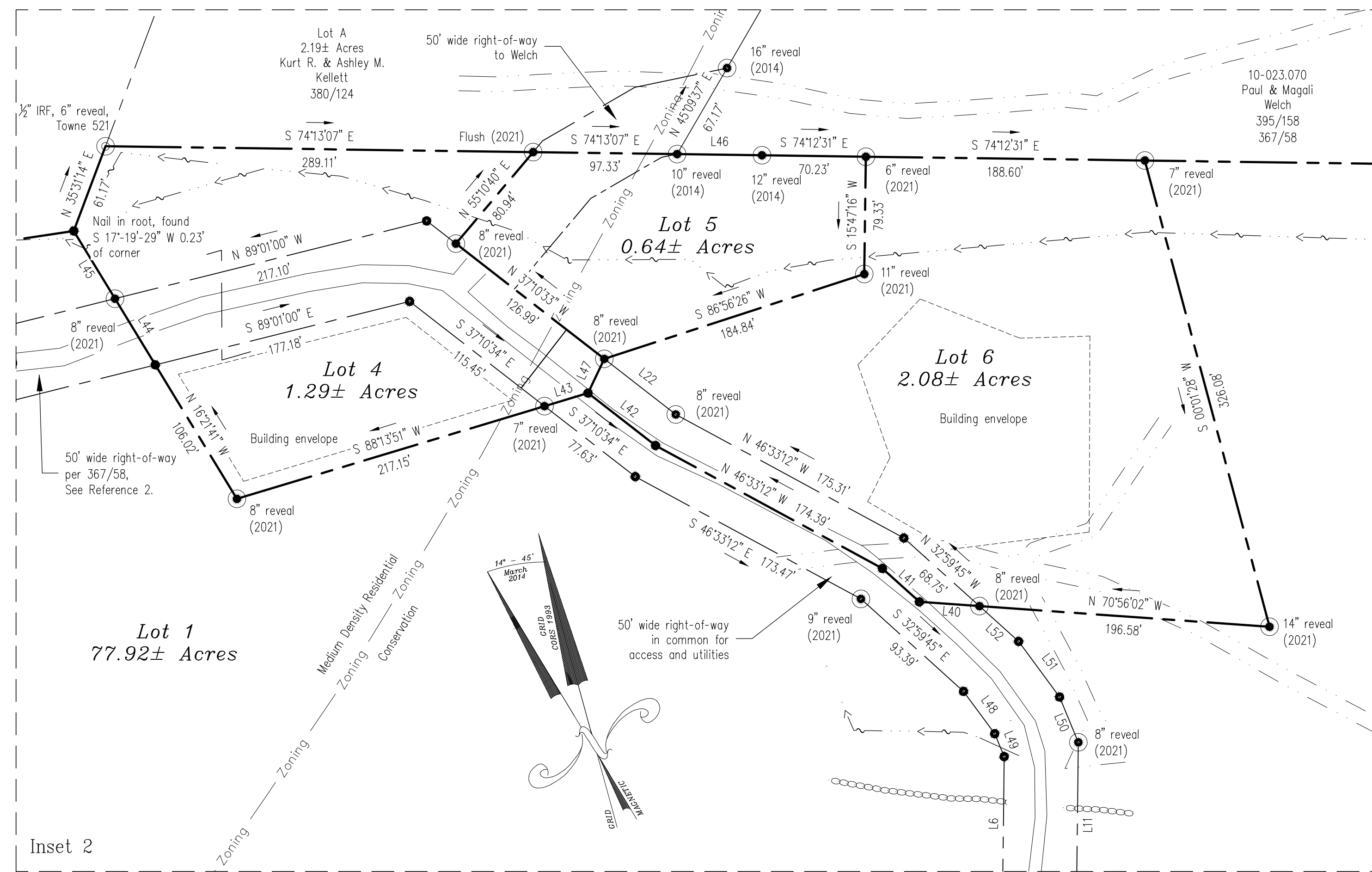
McCain Consulting, Inc.
 93 SOUTH MAIN STREET
 WATERBURY, VERMONT 05676

Keith R. Van Iderstine, L.S. 719
 This map complies with
 27 VSA 1403 and 26 VSA 2596

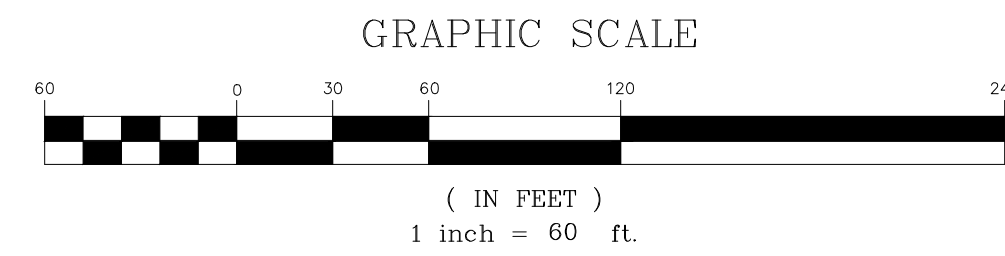
Exhibit E4

TITLE SOURCE: Waterbury Land Records
 1. Geraldine L. Callan, trustee of the Felix J. Callan Irrevocable Trust, successor to the Felix J. Callan Revocable Trust, u/i/a dated February 15, 2000 and of the Geraldine L. Callan Revocable Trust, u/i/a dated February 15, 2000, by Trustee's deed to Honeysuckle Hill Development LLC, dated January 29, 2021, recorded in Book 476, Page 269 of the Waterbury Land Records.

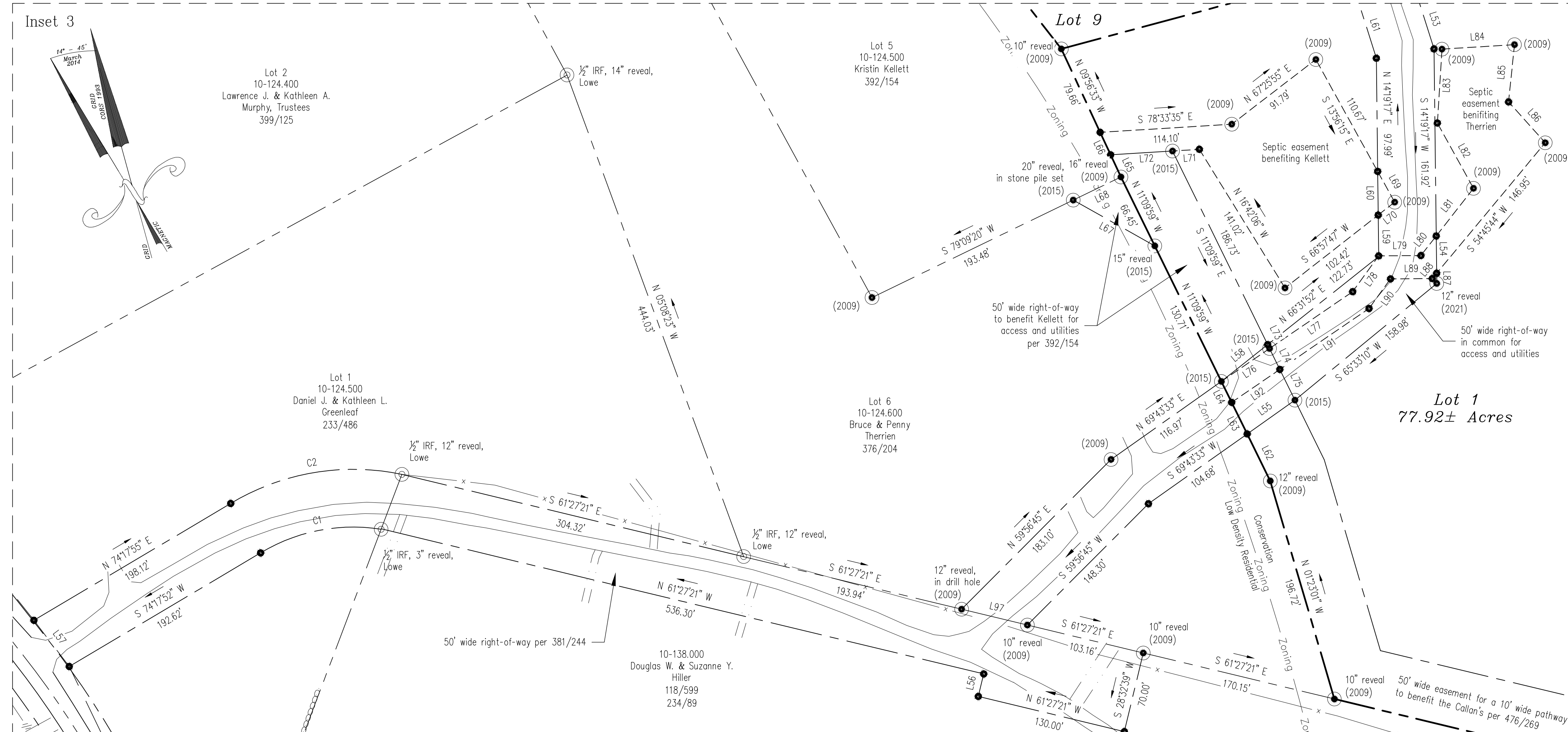
See Sheet 1 for References and Notes



- LEGEND**
- 1/2" Iron rod set with cap marked "VAN IDERSTINE 719"
 - (2009) 1/2" Iron rod set with 8" - 15" reveal with cap marked "VAN IDERSTINE 719"
 - (2015) 1/2" Iron rod set with 10" - 15" reveal with cap marked "VAN IDERSTINE 719"
 - Iron rod found
 - Calculated point
 - Property line
 - - - Right-of-Way line
 - - - Adjoiner line
 - - - Tie line
 - - - Septic easement
 - - - Building envelope
 - - - 1500' 1500' elevation contour line
 - - - Zoning Zoning district line
 - - - Barb wire fence
 - - - Stream
 - - - Woods road / trail
 - 118/599 Book 118 Page 599 of the Land Records



LINE	BEARING	DISTANCE
L6	S 15°38'53" W	115.94
L11	N 15°38'53" E	117.80
L22	N 37°10'34" W	61.20
L40	N 70°56'02" W	40.66
L41	N 32°59'45" W	33.71
L42	N 37°10'34" W	57.80
L43	S 88°13'51" W	30.67
L44	N 16°21'41" W	52.38
L45	N 16°21'41" W	53.52
L46	S 74°12'31" E	57.37
L47	S 40°31'34" W	25.59
L48	S 21°22'59" E	35.46
L49	S 07°28'30" E	16.79
L50	N 07°28'30" E	33.12
L51	N 21°22'59" W	46.65
L52	N 32°59'45" W	35.67
L53	S 02°34'05" E	84.03
L54	N 14°19'17" W	32.26
L55	S 69°43'33" W	50.64
L56	N 28°32'39" E	20.00
L57	N 22°24'44" W	50.39
L58	N 66°31'52" E	51.18
L59	N 14°19'17" W	35.83
L60	N 14°19'17" E	37.77
L61	N 02°35'10" W	78.79
L62	N 11°09'59" W	45.33
L63	N 11°09'59" W	30.43
L64	N 11°09'59" W	20.21
L65	N 09°56'33" W	21.11
L66	N 09°56'33" W	21.48
L67	N 45°41'34" W	80.97
L68	S 79°09'20" W	45.89
L69	S 13°56'15" W	30.40
L70	S 66°57'47" W	18.11
L71	N 78°33'35" W	23.28
L72	N 78°33'35" W	53.67
L73	S 11°09'59" E	3.71
L74	S 11°09'59" E	20.21
L75	S 11°09'59" E	29.61
L76	N 70°39'05" E	50.51
L77	N 70°39'05" E	87.13
L78	N 50°59'55" E	38.30
L79	S 75°28'57" W	36.56
L80	N 53°02'21" E	21.49
L81	N 53°02'21" E	52.35
L82	N 13°57'08" W	64.59
L83	N 18°33'43" E	64.09
L84	S 78°29'57" E	62.90
L85	S 20°54'41" W	49.81
L86	S 26°56'55" E	47.52
L87	N 14°19'17" W	8.81
L88	S 54°45'44" W	5.96
L89	N 75°28'57" W	36.12
L90	S 50°59'55" W	31.68
L91	S 70°39'05" W	93.47
L92	S 70°39'05" W	50.51
L97	S 61°27'21" E	58.58



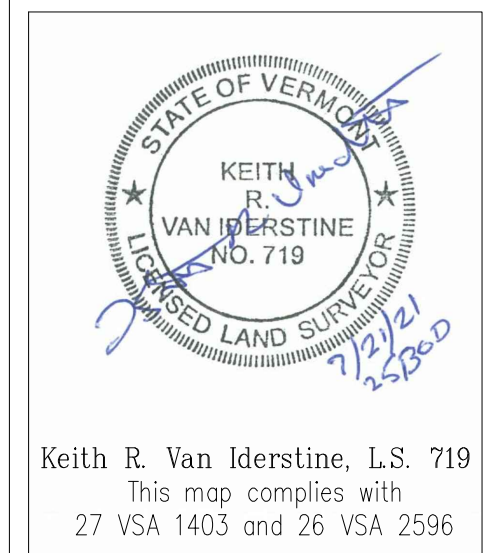
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	154.95'	108.52'	106.32'	N 86°05'07" W
C2	204.95'	153.88'	150.29'	S 84°38'22" E

WATERBURY, VT TOWN CLERK'S OFFICE
 Received for record _____ A.D. 20____
 at _____ o'clock _____ minutes _____ m.
 and recorded in _____
 Attest: _____ Town Clerk

Final Plan Approved by
 Waterbury, VT Development Review Board

 Date

 Chair, DRB



SURVEY AND SUBDIVISION OF THE LANDS OF

Honeysuckle Hill Development LLC

Ripley Road and Sweet Road Waterbury, Vermont

SCALE : 1" = 60'
 PROJECT : Mc25130D
 DRAWING : 25130Dsv 20210525.DWG

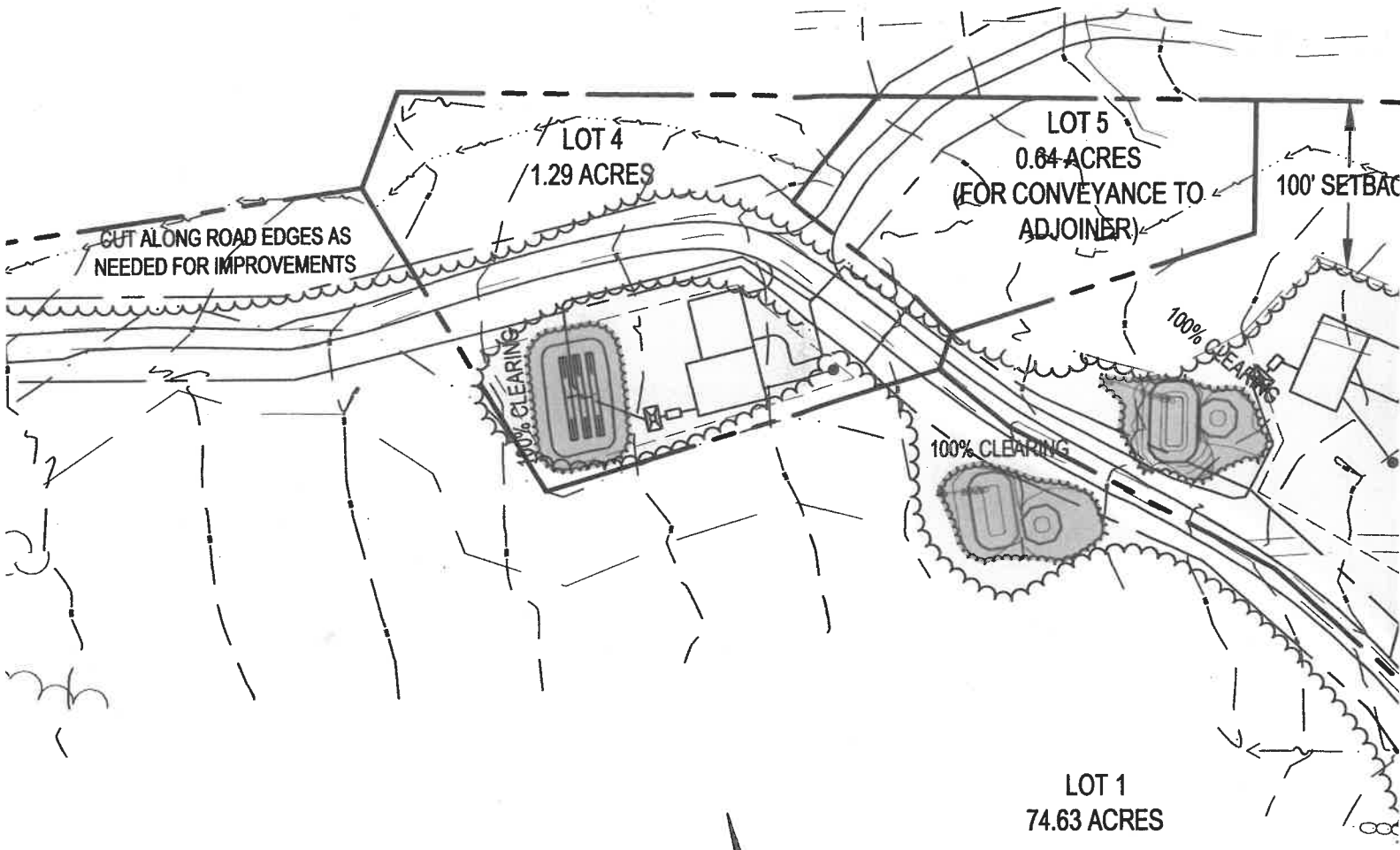
DATE: July 21, 2021

SHEET 3 OF 3

McCain Consulting, Inc.
 93 SOUTH MAIN STREET
 WATERBURY, VERMONT 05676

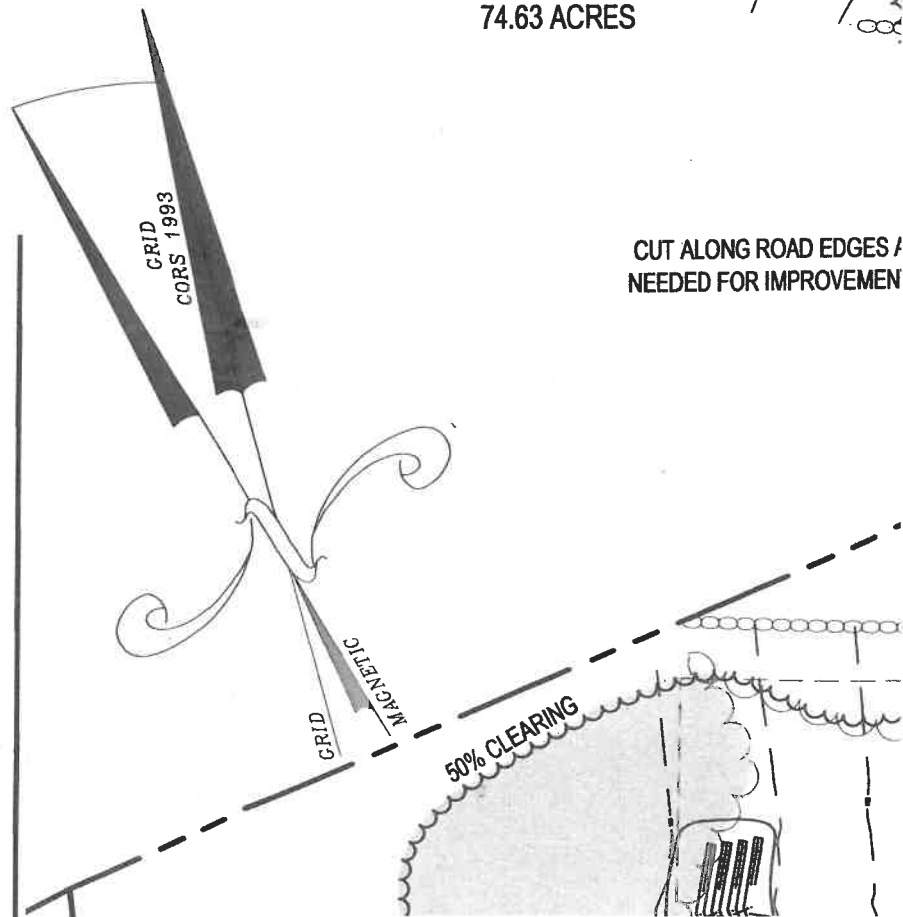
Keith R. Van Iderstine, L.S. 719
 This map complies with
 27 VSA 1403 and 28 VSA 2596

Exhibit F



LEGEND

	10' contours
	Property line
	Right of way line
	Wetland boundary
	Wetland buffer
	Tree line
	Stream
	Woods road
	Stone wall
	Clearing - 50%
	Clearing - 100%





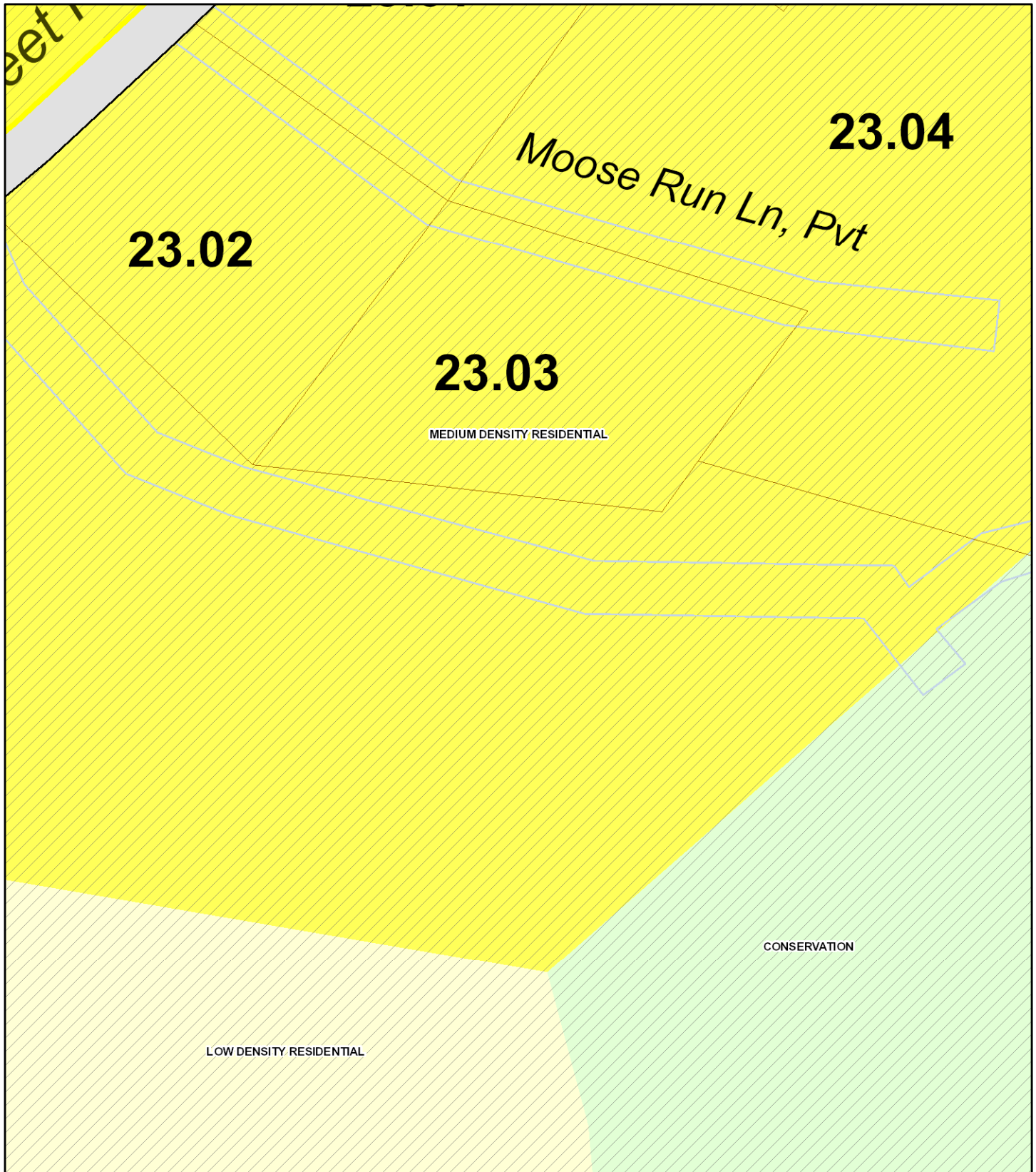
Mutchler-Honeysuckle Hill

Exhibit G

Waterbury Ctr., VT

1 inch = 134 Feet

May 26, 2022



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