

TOWN OF WATERBURY ZONING PERMIT APPLICATION

Date:	<u>12/22/2021</u>	Application #:	<u>116-21</u>
Fees Paid:	<u>\$800</u>	+ \$15 recording fee =	<u>\$840</u>
Parcel ID #:	<u>916-0104.V</u>		
Tax Map #:	<u>19-414.000</u>		

Please provide all of the information requested in this application.

Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process of this application. Based upon the nature of the project you may need to submit additional information. For instructions on how to fill out this form please refer to the *Zoning Permit Application Instructions & Fee Schedule* available on the municipal website or at the municipal offices. Submit one copy of the completed application and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process, please contact the Zoning Administrator at 802-244-1018.

CONTACT INFORMATION

APPLICANT

Name: SEAM Properties, LLC
 Mailing Address: 40 Scott Lamson
PO Box 694, Waterbury, VT 05676
 Home Phone: (802) 318-0358
 Work/Cell Phone: (802) 318-0358
 Email: scotte.lamson@honeywell.com

PROPERTY OWNER (if different from Applicant)

Name: Same as applicant
 Mailing Address: _____
 Home Phone: _____
 Work/Cell Phone: _____
 Email: _____

PROJECT DESCRIPTION

Physical location of project (E911 address): 104 South Main St.
Waterbury, VT 05676

Lot size: .22 Ac Zoning District: Village Mixed Res. (VMR)

Existing Use: Apt. & Office Proposed Use: Existing + 3 unit apt.

Brief description of project: The project is a boundary line adjustment (to make 104.46 Ac.) and a proposed 3 unit apartment building to replace an existing barn at 104 So. Main St.

Cost of project: \$ 200,000 Estimated start date: May 2022

Water system: Municipal Waste water system: Municipal

EXISTING Apt + Office

Square footage: 1080 Height: 30'±
excludes porches

Number of bedrooms/baths: 3/3

of parking spaces: 4

Setbacks: front: 14' to porch

sides: 5', 20' rear: 114'
see plans

PROPOSED 3 Unit Apt. to Replace Barn

Square footage: 1800 Height: 26'±

Number of bedrooms/bath: 6/2

of parking spaces: 8

Setbacks: front: 9'

sides: 5', 12' rear: 81'

CHECK ALL THAT APPLY:

NEW CONSTRUCTION

- Single-Family Dwelling
- Two-Family Dwelling
- Multi-Family Dwelling
- Commercial / Industrial Building
- Residential Building Addition
- Comm./ Industrial Building Addition
- Accessory Structure (garage, shed)
- Accessory Apartment
- Porch / Deck / Fence / Pool / Ramp
- Development in SFHA (including repairs and renovation)
- Other _____

USE

- Establish new use
- Change existing use
- Expand existing use
- Establish home occupation

OTHER

- Subdivision (# of Lots: _____)
- Boundary Line Adjustment (BLA)
- Planned Unit Development (PUD)
- Parking Lot
- Soil/sand/gravel/mineral extraction
- Other _____

ADDITIONAL MUNICIPAL PERMITS REQUIRED:

- Curb Cut / Access permit
- E911 Address Request
- Water & Sewer Allocation
- none of the above

[Additional State Permits may also be required]

SKETCH PLAN Please include a sketch of your project, drawn to scale, with all required measurements - see *Zoning Permit Application Instructions*. You may use the space below or attach separate sheets. For plans larger than 11"x17" please provide a digital copy (pdf. file format) in addition to a paper copy.

EXHIBIT A2

Refer to Design Plans

SIGNATURES The undersigned hereby applies for a Zoning Permit for the use described in this application to be issued on the basis of the representations made herein all of which the applicant swears to be complete and true.

X Scott E. Lane X 12/7/2021
Applicant Signature date

X Mary Ellen Roman X 12/7/2021
Property Owner Signature date

CONTACT Zoning Administrator Phone: (802) 244-1018
Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Suite 1, Waterbury, VT 05676
Municipal Website: www.waterburyvt.com

OFFICE USE ONLY

Zoning District/Overlay: _____
Review type: Administrative DRB Public Warning Required: Yes No
DRB Referral Issued (effective 15-days later): _____
DRB Mtg Date: _____ Decision Date: _____
Date Permit issued (effective 16-days later): _____
Final Plat due (for Subdivision only): _____
Remarks & Conditions: _____
Authorized signature: _____ Date: _____

REVIEW/APPLICATIONS:
 Conditional Use Waiver
 Site Plan
 Variance
Subdivision:
 Subdv. BLA PUD
Overlay:
 DDR SFHA RHS CMP
 Sign
 Other _____
 n/a

Date: _____	Application #: _____
Fees Paid: _____	(\$15 recording fee already paid)
Parcel ID #: _____	
Tax Map #: _____	

**TOWN OF WATERBURY
SITE PLAN REVIEW INFORMATION**

This Site Plan Review information sheet supplements the Zoning Permit Application. Please provide all of the information requested on both forms. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process. Submit one copy of the completed forms and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process please contact the Zoning Administrator at 802-244-1018.

PROJECT DESCRIPTION

Brief description of project: The project is a boundary line adjustment (to make 104 .46Ac) and a proposed 3 unit apartment building to replace an existing barn at 104 So. Main St.

SITE PLAN REVIEW CRITERIA

Please utilize the check list to ensure your proposal addresses each relevant Site Plan Review criteria:

- Adequacy of traffic access
- Adequacy of circulation and parking
- Adequacy of landscaping and screening (including exterior lighting)
- Requirements for the Route 100 Zoning District
- Special considerations for projects bordering Route 2, Route 100, or Interstate 89

SITE PLAN SUBMISSION REQUIREMENTS

Before an application for site plan review is considered complete, the applicant shall file a site plan, clearly drawn to the largest practical scale, showing the following:

- Location and dimensions of lot lines, names of adjacent landowners, all easements, utilities, and existing and proposed structures.
- All access to public streets or roads, parking and service areas, pedestrian walkways, curbs and stormwater drainage.
- Pedestrian and vehicular circulation, including parking lot layout, entrances to structures, signs, and lighting.
- Building elevations and footprints.
- Detailed site grading and landscaping, indicating existing and proposed trees, shrubs, and ground cover.
- Two copies of all plans.
- For plans larger than 11"x17" please submit a digital plan set in addition to the paper copy (pdf. file format).

CONTACT Zoning Administrator Phone: (802) 244-1018
 Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Suite 1, Waterbury, VT 05676
 Municipal Website: www.waterburyvt.com

Date: _____	Application #: _____
Fees Paid: _____	(\$15 recording fee already paid)
Parcel ID #: _____	
Tax Map #: _____	

TOWN OF WATERBURY CONDITIONAL USE INFORMATION

This Conditional Use (and Setback Waiver) information sheet supplements the Zoning Permit application. Please provide all of the information requested on each form. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process. Submit one copy of the completed forms and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process, please contact the Zoning Administrator at 802-244-1018.

PROJECT DESCRIPTION

Brief description of project: The project is a boundary line adjustment (to make 104 .46 acres) and a proposed 3 unit apartment building to replace an existing barn at 104 So. Main St.

CONDITIONAL USE CRITERIA

Please respond to the following; you may answer on a separate sheet and attach additional pages and supporting materials:

- Describe how the proposed use will not have an undue adverse impact on the capacity of existing or planned community facilities to accommodate it (including roads and highways, municipal water or sewer systems, school system, fire protection services):
Refer to attached letter
- Describe how the proposed use will not have an undue adverse impact on the character of the area affected as defined by the Municipal Plan and the zoning district in which the proposed project is located:
"
- Describe how the proposed use will not violate any municipal bylaws and ordinances in effect:
"
- Describe any devices or methods to prevent or control fumes, gas, dust, smoke, odor, noise, or vibration:
"
- For removal of earth or mineral products which is not incidental to a construction, landscaping, or agricultural operation, a removal project must meet specific conditions outlined within Section 302 of the Waterbury Zoning Regulations. Are the conditions included within the Application Submittals?
"

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Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Waterbury, VT 05676
Municipal Website: www.waterburyvt.com

Date: _____ Application #: _____
 Fees Paid: _____ (\$15 recording fee already paid)
 Parcel ID #: _____
 Tax Map #: _____

TOWN OF WATERBURY OVERLAY DISTRICT INFORMATION

This Overlay District information sheet supplements the Zoning Permit Application. Please provide all of the information requested on both forms. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process. Submit one copy of the completed forms and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process please contact the Zoning Administrator at 244-1018.

PROJECT DESCRIPTION

Brief description of project: The project is a boundary line adjustment (to make 104 .46Ac.) and a proposed 3 unit apartment building to replace an existing barn at 104 So. Main St.

Fill out only the relevant section(s) & utilize the following checklists to ensure your plans include all the required information.

DOWNTOWN DESIGN REVIEW OVERLAY DISTRICT (DDR)

DESIGN STANDARDS:

For Historic Structures (applying to all structures listed on the National Register of Historic Places):

- Original materials or materials typical of the architectural style are preserved or replaced with like materials to the extent feasible and appropriate.
- Historic building features shall be preserved or replicated to the extent feasible and appropriate.

For projects within the Historic/Commercial Sub-District:

- New building designs shall reinforce historic streetscape patterns, including orientation and setbacks.
- New buildings shall maintain overall height, size, massing, scale, and proportions compatible with those of buildings in the vicinity.
- New additions are designed to complement and be compatible with the original structure.
- Project design reinforces a pedestrian streetscape.
- On-site utilities shall be buried and utility boxes are screened from public view if the utilities along the street serving that structure are also buried.
- Buildings, or portions thereof, having eaves heights of 20-foot or less above ground level incorporate moderately to steeply pitched roofs, unless the another roof type is appropriate.

For projects within the Mixed-Use Sub-District:

- Building sites, including road and pedestrian networks, are designed in a manner that is integrated and compatible with adjoining parcels and areas.
- A proposed project located next to or facing a historic structure incorporates similar or complementary building features.
- New buildings are oriented to front upon, and relate both functionally and visually to, primary access roads.
- On-site parking is situated to the rear or on the sides of structures, where feasible and appropriate.
- The primary facades of principal structures are clearly defined through the placement of one or more prominent entryways, pedestrian walkways, or landscaping features.
- Building facades and rooflines are designed so as to reduce the perceived mass, scale, and uniform impersonal appearance of large buildings and additions, and to provide visual interest.
- Clearly defined pedestrian walkways are provided through parking areas, between buildings, and from public sidewalks to the site.

SUBMISSION REQUIREMENTS:

- All information required under Site Plan (see Site Plan Application)
- Proposed architectural elevations (for each exterior wall) showing door and window types and placement, and other exterior details
- A description of all materials to be used on the exterior of building
- Photos of the existing building(s) on the site and adjacent and facing parcels
- For demolition of a structure listed on the National Register of Historic Places see additional requirements within the Regulations.

RIDGELINE, HILLSIDE, STEEP SLOPE OVERLAY DISTRICT (RHS)

REVIEW STANDARDS:

- For both Minor & Major Development Projects see Conditional Use Criteria
- For Major Development Projects:
 - Screening
 - Access
 - Placement of Structures
 - Exterior Lighting
 - Clearcutting and Pre-Development Site Preparation
 - Natural Resources
 - Building Design

SUBMISSION REQUIREMENTS :

- Minor Development Projects (1,200—1,499 FIE)
 - All information required under Site Plan Review (see Site Plan Review Application)
 - Completed Conditional Use Application
- Major Development Projects (1,500 & up FIE)
 - All information required under Site Plan Review (see Site Plan Review Application)
 - Completed Conditional Use Application
 - Grading Plan
 - Visibility Studies
 - Stormwater Drainage/Erosion Control Plan
 - Landscape Plan
 - Access Plan Natural Features

SPECIAL FLOOD HAZARD AREA OVERLAY DISTRICT (SFHA)

DESIGN STANDARDS:

- All development is reasonably safe from flooding All fuel storage tanks are either elevated or floodproofed.
- All substantial improvements and new construction (including fuel storage tanks) meet the following criteria:
 - Designed, operated, maintained, modified and adequately anchored to prevent flotation, collapse, release, or lateral movement of the structure
 - Constructed with materials resistant to flood damage
 - Constructed by methods and practices that minimize flood damage
 - Constructed with electrical, heating, ventilation, plumbing and air-conditioning equipment and other service facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding
 - All new subdivisions and other proposed developments that are greater than 50 lots or 5 acres, whichever is the lesser shall include within such proposal base flood elevation data. See Regulations for additional subdivision standards.
 - The fully enclosed areas below the lowest floor that are useable solely for parking of vehicles, building access, or storage in an area other than a basement are designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters.
 - A non-residential, appurtenant structure of 500 sf or less need not be elevated to or above the base flood elevation in this area, provided the structure is placed on the building site so as to offer the minimum resistance to the flow of floodwaters
 - In Zones AE, A, and A1 – A30 where base flood elevations and/or floodway limits have not been determined, new construction and substantial improvement shall not be permitted unless it is demonstrates additional standards (see Regulations)
 - All new construction and substantial improvements of residential structures within Zones A1-30, and AE must have the lowest floor of all residential structures (including basement) elevated to at least one foot above the base flood level.
 - All manufactured homes are installed using methods and practices which minimize flood damage. Manufactured homes must be elevated on a permanent foundation such that the lowest floor of the manufactured home is at least one foot above base flood elevation, and they must be anchored to an adequately anchored foundation to resist flotation collapse, or lateral movement.
 - All new construction and substantial improvements of non-residential structures within Zones A1-30, and AE shall:
 - Have the lowest floor (including basement) elevated to at least two feet above the base flood level; or
 - Be designed so that below the base flood level the structure is water tight with walls substantially impermeable to the passage of water with structural components having the capability of resisting hydrostatic and hydrodynamic loads and

effects of buoyancy to a point at least two feet above the base flood level.

- Where a non-residential structure is intended to be made watertight below the base flood level a registered professional engineer or architect shall develop and/or review structural design
- professional engineer or architect shall develop and/or review structural design
- ___ Adequate drainage paths shall be required around structures on slopes to guide floodwaters around and away from proposed structures.
- ___ The flood carrying and sediment transport capacity within the altered or relocated portion of any watercourse shall be maintained, and any alteration or relocation shall not result in any decrease of stream stability.
- ___ Bridge and culverts, which by their nature must be placed in or over the stream, must obtain a stream alteration permit from the Agency of Natural Resources, if required.

SUBMISSION REQUIREMENTS:

- Plans in triplicate, drawn to scale, showing the location, dimensions, contours, and elevation of the lot; the size and location on the site of existing or proposed structures, fill or storage of materials; the location and elevations of streets, water supply, and sanitary facilities; and the relation of the above to the location of the channel, floodway, and base flood elevation
- Specifications for building construction and materials, floodproofing, mining, dredging, filling, grading, paving, excavation, or drilling, channel improvement, storage of materials, water supply, and sanitary facilities
- Base flood elevation data for all subdivisions, new construction, and substantial improvements
- The elevation, in relation to mean sea level, of the lowest floor, including basement, of all new construction or substantial improvement of structures
- Where floodproofing is used in lieu of elevation, the elevation, in relation to mean sea level, to which any structure or substantial improvement will be floodproofed
- Where an application requires Board review the application shall include certification by a registered professional engineer or architect demonstrating that the proposed development will not increase base flood elevations more than 0.25 foot
- Certification by a registered professional engineer or architect demonstrating compliance with the elevation requirements
- A description of the extent to which any watercourse will be altered or relocated as a result of the proposed development
- A Vermont Agency of Natural Resources Project Review Sheet for the proposal
- Proposed floodproofing must be supported by a FEMA Floodproofing Certificate

CERTIFICATE OF COMPLETION: Upon completing the project the Applicant must apply for and receive a Certificate of Completion to ensure the project conforms to the Special Flood Hazard Area Regulations. See Certificate of Completion Application for additional information.

CONTACT Zoning Administrator Phone: (802) 244-1018
 Mailing address: Waterbury Municipal Offices, 28 North Main Street, Suite 1, Waterbury, VT 05676
 Municipal Website: www.waterburyvt.com

EXHIBIT A8

Date: _____	Application #: _____
Fees Paid: _____	+\$25 Plat (\$15 recording fee already paid)
Parcel ID #: _____	
Tax Map #: _____	

TOWN OF WATERBURY SUBDIVISION INFORMATION (BLA & PUD)

This Subdivision/Boundary-Line Adjustment/Planned-Unit Development information sheet supplements the Zoning Permit Application. Please provide all of the information requested on both forms. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process. Submit one copy of the completed forms and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process please contact the Zoning Administrator at 802-244-1018.

PROJECT DESCRIPTION

Brief description of project: The project is a boundary line adjustment (to make 104 .46 acres) and a proposed 3 unit apartment building to replace an existing barn at 104 So. Main St.

SUBDIVISION & BOUNDARY LINE ADJUSTEMENT (BLA) CHECKLIST

Please utilize the following check list to ensure your application contains all the required information.

Check one (A1, A2, B1, or B2):

- A1) Boundary Line Adjustment which affects fewer than five (5) lots
- A2) Subdivision of land into fewer than four (4) lots, including the original parcel and not located within the RT 100 Zoning District or the Ridgeline/Hillside/ Steep Slope Overlay District

REVIEW CRITERIA for A projects

- Relevant criteria in Section 401, Dimensional Requirements
- Section 504, General Dimension, Location, and Height Requirements

- B1) Boundary Line Adjustment which affects five (5) or more lots
- B2) Division of land into four (4) lots or more, including the original parcel and/or located within the RT 100 Zoning District or the Ridgeline/Hillside/ Steep Slope (RHS) Overlay District

REVIEW CRITERIA for B projects (See Section 1202 review criteria)

- Relevant criteria in Section 401, Dimensional Requirements
- Section 504, General Dimension, Location, and Height Requirements
- Will not have undue adverse impact on existing or planned municipal facilities
- Will not have undue adverse impact on the character of the area
- Will not have undue adverse impact on water quality or impacts to soil
- Will not have undue adverse impact on scenic resources or historic sites
- Will not have undue adverse impact on significant natural resources
- For the division of land in the RT 100 Zoning District see Section 1202(b) for additional criteria
- For the division of land in the RHS Overlay District see Section 1202(c) for additional criteria

SUBMISSION REQUIREMENTS (for both A and B projects)

Draft plat / site plan map, of sufficient scale, showing the following:

- Existing and proposed parcel boundaries
- Existing and proposed parcel acreages
- Existing and proposed structures and setbacks
- Existing and proposed easements (incl. but not limited to right-of-ways, power, water + sewer, other utilities)

PLANNED UNIT DEVELOPMENT CHECKLIST (PUD)

Please utilize the following check list to ensure your application contains all the required information.

SUBMISSION REQUIREMENTS

A) SITE PLAN: Submit one or more site plan maps, of sufficient scale, showing the following:

- The name and address of the person or firm preparing the map, the scale, and the north arrow
- The boundaries of the property, and adjacent land uses and property owners
- Existing features, including contours, bodies of water, floodplains, wetlands, aquifer protection areas, existing vegetation, significant wildlife habitat, existing land uses, structures, historic structures, streets, utilities, easements, and deed restrictions
- The locations of proposed structures, building lots, land uses, streets, driveways, parking and loading spaces, pedestrian walkways, utility lines, lighting, water supply sources, and sewage disposal areas
- The location and features of proposed undeveloped land
- Landscaping plans, screening, proposed site grading, and incorporation of existing vegetation and features
- Submit 2 copies, if the plan(s) are larger than 11"x17" also provide a digital copy in pdf. file format.

B) NARRATIVE DESCRIPTION & SUPPORTING INFORMATION:

___ A statement describing the character and proposed uses of the undeveloped land, including the nature of proposed public uses.

___ A statement on the impact of the development on public roads and other public infrastructure such as schools, sewer systems, or public water systems, if appropriate.

___ Articles of association, bylaws, or declarations of condominium that relate to provisions for undeveloped land, design controls, land use restrictions, recreation, parking areas, or other facilities used, owned, or maintained in common.

___ A description of how the project meets each of the standards in Section 705, including justification for any density bonuses that are requested.

___ PUDs that include nonresidential uses or structures must also apply for site plan approval for the nonresidential portions of the project. Please include a Site Plan Application.

___ PUDs that included uses that are conditional in the district for which they are proposed must also apply for and obtain conditional use approval for those uses. Please include a Conditional Use Application.

Submit 2 paper copies and a digital copy in pdf. file format.

Refer to attached letter

CONTACT Zoning Administrator Phone: (802) 244-1018
Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Suite 1, Waterbury, VT 05676
Municipal Website: www.waterburyvt.com

December 22, 2021

Steve Lotspeich
Community Planner / Zoning Administrator
Town of Waterbury
28 North Main Street Suite #1
Waterbury, VT 05676

RE: SEAM Properties, LLC – 104 So. Main Street
Zoning Permit & Site Plan & Conditional Use Review &
Subdivision Information & Overlay District Information
TCE # 21-125

Dear Mr. Lotspeich:

Trudell Consulting Engineers (TCE) hereby submits the enclosed information and documentation on behalf of SEAM Properties, LLC (SEAM) (the "**Applicant**") for a Zoning Permit, including Site Plan and Conditional Use Review on the property located at 104 South Main Street in Waterbury Village.

This letter addresses the requested information per the *Town and Village of Waterbury Zoning Regulations* (the "**Regulations**") dated May 16, 2016 and includes the following information: brief narratives of (A) the project, (B) the project goal, and the (C) project architecture; as well as the (D) site plan requirements, (E) conditional use criteria, and (F) a list of submission elements.

A completed Zoning Plan Application with the requisite fee of \$840.00 is also being submitted.

A. Project Description

The .22-acre parcel is located at 104 South Main Street in Waterbury Village. The project parcel is in the Village Mixed Residential (VMR) zoning district. The parcel currently contains two buildings. One is a two-unit apartment with a chiropractic office and the second building is a vacant barn. There is one existing curb-cut off of Main Street.

The project proposes a new 3-unit apartment building to replace the existing barn. The site development includes the new building, minor widening of the existing driveway, sewer service, water service, electrical service, parking spaces and general site work. The minimum lot size for this project is 20,000 square feet (.46 acres). The project includes a boundary line adjustment (BLA) between 14 South Main Street (Lot 1) and 112 South Main Street (Lot 2). The BLA increases the size of Lot 1 to .46 acres and decreases the size of Lot 2 to .83 acres. Refer to Boundary Line Adjustment Survey Plat sheet S1-01.

The site access will continue to be the 104 South Main Street curb cut at the west end of the parcel. New parking is located east of the barn and the balance of parking is in the existing large parking lot that goes with Lot 2 (112 South Main Street). A total of 8 new parking spaces are proposed with this project. With the BLA all 8 spaces are on Lot 1.

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104 So. Main St., Waterbury Village
December 23, 2021

The project site already includes mature landscaping in close proximity to the proposed apartment building and no additional landscaping is being proposed, other than some small shrubs and perennials around the new building in a few locations.

The domestic water service for the proposed apartment building will be provided by the Town of Waterbury municipal system by way of a new service connection. The wastewater service will be provided by the Town of Waterbury municipal system by way of a new gravity sewer service connection. Both sewer and water are in close proximity to the proposed apartment building. Refer to the Site Plan sheet C2-01.

B. Project Goal (3 Unit Apartment Building)

SEAM will transform a vacant barn building in disrepair and close to collapse, into a productive three-unit residential apartment building. Every effort has been made to create a site that fits with the surroundings.

C. Project Architecture

The Architectural Plans were done by Brian Touchette and are included with this letter. They include a North Elevation, South Elevation, West & East Elevation, Connector Elevation (showing the car port), Floor Plans, Foundation Layout Plan, Parting Wall Detail and Foundation Detail. The design of the proposed building is intended to fit in with the village character of the area. The proposed apartment building lines up with the existing 2-unit residential apartment building and they are connected by a car port.

The proposed building is a simple gabled form that resembles a small barn. It is behind the existing apartment building and has limited visibility from Main Street. It is intended to infill the site and provide a quiet setting for the added apartment units.

The building material will employ typical rural building materials to fit in with the village setting. The walls will be sided in similar fashion to the existing apartment building and many of the surrounding buildings. The roof will be standing seam metal roofing matching the existing apartment building and a majority of buildings in the direct vicinity.

D. Site Plan Review Criteria

Adequacy of Traffic Access

Traffic access to the parcel will be via the existing curb cut. The project also provides an easement for use of the 110 South Main Street curb cut, as a secondary access for ingress and egress.

The three added apartment units will not add any significant traffic to the area. It is anticipated the average daily traffic for this site will be about 10 vehicle trips per day for each of the 3 units for a total of 30 trips per day. Given the location of this project in the Village and the pedestrian connect ability to the stores, restaurants and recreational areas (the park is close by), we expect these vehicle trip generation numbers to be even lower as tenants can walk to various venues using the sidewalk system along Main

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Street. The peak hour vehicle trips expected for this project are about 2 per unit for a total of 6 vehicle peak hour trips in the morning and slightly more in the evening peak hour.

Adequacy of Circulation and Parking

Four parking spaces for this project are on the east side of the building along the northern boundary line and four more spaces are on the west side of the large existing paved parking lot. This provides parking for 8 vehicles or 2 per proposed apartment unit. There is no change to the existing parking for the existing two-unit apartment building and chiropractic office. The project can utilize either the 104 South Main Street curb cut or the 110 South Main Street curb. An easement allows use of the 110 South Main Street curb cut and it is currently being used by the occupants of both 104 South Main Street and the Office and Workshop at 112 South Main Street. Site distance at either of the curb cuts provide for safe access onto Main Street similar and consistent with the surround curb cuts. Refer to the Site Plans and Boundary Line Adjustment Survey Plat.

Adequacy of Landscaping and Screening (including exterior lighting)

The proposed three-unit apartment building will replace the existing barn and will not look significantly different to the current conditions. The site and surrounding area already contain mature landscaping and has limited space for added landscaping. As such we are not proposing any landscaping other than some shrubs and perennials around the building in a few locations. We are not proposing any parking lot lighting and currently none exists. The only lighting anticipated is a building mounted light at the building entrance and a motion sensor light on the east and west ends for security. The lights mounted on the building at the entrance will be shielded and downcast.

E. Conditional Use Criteria

1. Describe how the proposed use will not have an undue adverse impact on the capacity of existing or planned community facilities to accommodate it (including roads and highways, municipal water or sewer systems, school system, fire protection services):

The project will not have an undue adverse impact on the capacity of the existing or planned community facilities. The proposed 3-unit apartment building that replaces the existing defunct barn will connect to the municipal water system via the existing water service that comes into the property. The wastewater is also proposed to be connected to the existing sewer main that runs along the east side of the site. The project has received approval for sewer and water allocation. The project will not result in a significant increase of traffic. The project will not result in a significant increase in children attending the schools. The new building will be less of a fire hazard than the current barn.

2. Describe how the proposed use will not have an undue adverse impact on the character of the area affected as defined by the Municipal Plan and the zoning district in which the proposed project is located:

The project will not have an undue adverse impact on the character of the area. The parcel is in the Village Mixed Residential (VMR) zoning district. The project meets the dimensional requirements for the district and proposes uses that are permitted, pending conditional use approval. The building utilizes building materials that fit in the village setting and the landscaping is already in place with mature trees that will remain. This project is consistent with the character of the area.

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104 So. Main St., Waterbury Village
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With regard to the Municipal Plan, the project is located in the Village Mixed Residential (VMR) zoning district and the proposed use is consistent with the Municipal Plan. The project aligns with the goals of the Waterbury Municipal Plan in providing more housing in the Village area.

3. Describe how the proposed use will not violate any municipal bylaws and ordinances in effect:

The project will meet municipal bylaws and ordinances. The project complies with the dimensional requirements, setbacks, lot coverage, site access, sign, and parking requirements as described in the Regulations.

4. Describe any devices or methods to prevent or control fumes, gas, dust, smoke, odor, noise, or vibration:

The project will not create fumes, gas, dust, smoke, odor, noise, or vibration once construction is complete. Any disturbance that is created during construction will be controlled using best practices to reduce and limit any construction impacts from the project.

5. For removal of earth or mineral products which is not incidental to a construction, landscaping, or agricultural operation, a removal project must meet specific conditions outlined within Section 302 of the Waterbury Zoning Regulations. Are the conditions included within the Application Submittals?

This is not applicable to the project as no removal of earth or mineral products is proposed.

F. List of Submission Elements

1. Cover Letter and Narrative (this document)
2. Completed Zoning Permit Application Form
3. Complete Conditional Use Application Form
4. Completed Site Plan Application Form
5. Subdivision Application Form
6. Overlay District Application Form
7. Architectural Plans
8. Civil Site Plans
9. Boundary Line Adjustment Plat

If you have any questions or need additional information, please do not hesitate to contact me directly at (802) 879-6331 x101 or by email at john.pitrowiski@tcevt.com.

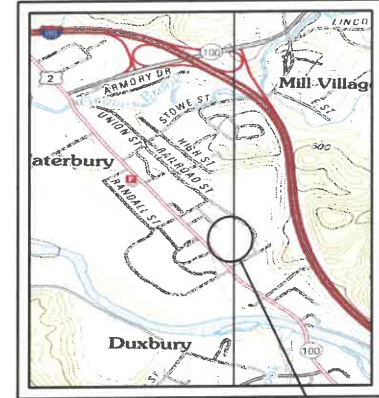
Sincerely,



John Pitrowiski, PE
Trudell Consulting Engineers

NOTES:

1. THIS PLAT IS BASED ON DEEDS RESEARCHED IN THE TOWN WATERBURY LAND RECORDS AND FEATURES LOCATED IN THE FIELD WITH A TOTAL STATION ON 10/22/2021 AND GPS RTK ON 10/25/2021.
2. BEARINGS ARE BASED ON VERMONT STATE PLANE GRID NORTH ESTABLISHED WITH RTK OBSERVATIONS FROM VERMONT VRS.
3. PARCEL 19-414 WAS CONVEYED TO SEAM PROPERTIES LLC IN VOLUME 493 PAGE 294 ON 10/17/2021. PARCEL 19-420 WAS CONVEYED TO SEAM PROPERTIES LLC IN VOLUME 438 PAGE 151 ON 5/31/2019.
4. REBARS SET ARE NO. 5 REINFORCING BARS WITH ALUMINUM CAPS STAMPED "TCE LAND SURVEYING, LS 109298".
5. DISTANCES ARE SHOWN TO THE HUNDREDTH OF A FOOT AND BEARINGS ARE SHOWN TO THE SECOND FOR MATHEMATICAL CLOSURE PURPOSES ONLY.
6. AN ATTEMPT HAS BEEN MADE TO IDENTIFY OR DELINEATE EASEMENTS, RIGHTS OF WAY, LEASE LANDS, ENCROACHMENTS, ETC. OBSERVED IN THE FIELD OR READILY FOUND IN THE LAND RECORDS. ADDITIONAL ENCUMBRANCES MAY EXIST WHICH ARE NOT SHOWN ON THIS PLAT.
7. UNDERGROUND UTILITY LINES SHOWN ARE BASED ON ABOVE GROUND STRUCTURES AND PLANS OF RECORD AND VISIBLE EVIDENCE FOUND IN THE FIELD. ACTUAL LOCATION OF UNDERGROUND LINES MAY VARY.
8. THE RIGHT OF WAY WIDTH OF US ROUTE 2 IS ASSUMED TO BE 49.5' (3 RODS) BASED UPON THE LOCATION OF SIDEWALKS AND ALLOWED BY STATE STATUTE.

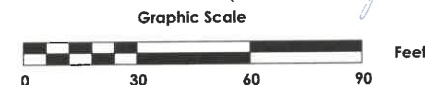
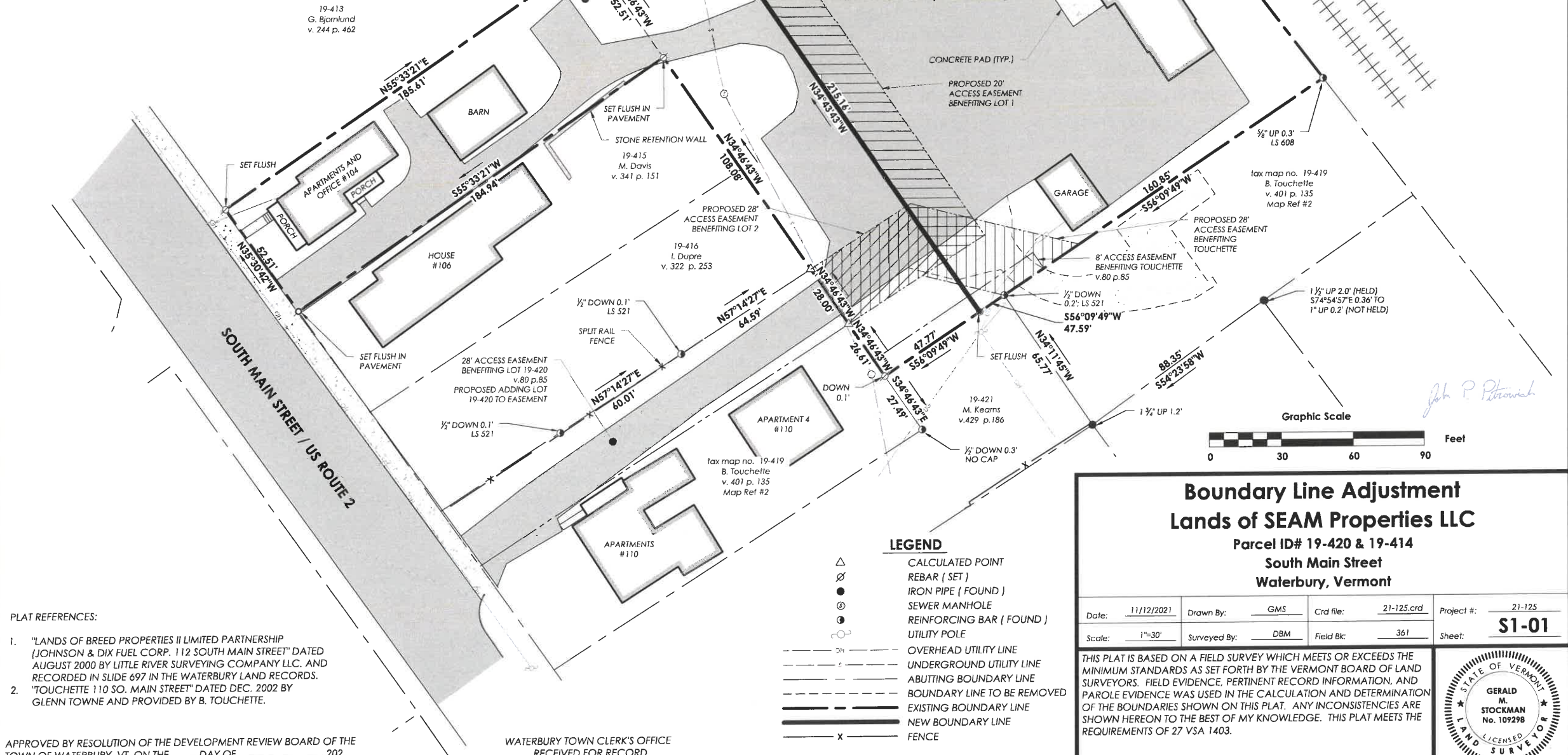


PROJECT LOCATION

19-413
G. Bjornlund
v. 244 p. 462

LOT 1
tax map no. 19-420
v. 493 p. 294
0.22 Acres/9726 Sq. Feet Before Adjustment
0.46 Acres/20003 Sq Feet After Adjustment

LOT 2
tax map no. 19-420
v. 438 p. 151
1.07 Acres/46406 Sq. Feet Before Adjustment
0.83 Acres/36128 Sq. Feet After Adjustment



PLAT REFERENCES:

1. "LANDS OF BREED PROPERTIES II LIMITED PARTNERSHIP (JOHNSON & DIX FUEL CORP. 112 SOUTH MAIN STREET" DATED AUGUST 2000 BY LITTLE RIVER SURVEYING COMPANY LLC. AND RECORDED IN SLIDE 697 IN THE WATERBURY LAND RECORDS.
2. "TOUCHETTE 110 SO. MAIN STREET" DATED DEC. 2002 BY GLENN TOWNE AND PROVIDED BY B. TOUCHETTE.

APPROVED BY RESOLUTION OF THE DEVELOPMENT REVIEW BOARD OF THE TOWN OF WATERBURY, VT. ON THE _____ DAY OF _____ 202____
SUBJECT TO THE REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION.

SIGNED THIS _____ DAY OF _____ 202____
BY _____, CHAIRMAN

WATERBURY TOWN CLERK'S OFFICE
RECEIVED FOR RECORD
_____ A.D. 202____
at _____ o'clock _____ minutes _____ m
and recorded in Slide _____
Affect: _____ Town Clerk

LEGEND

- △ CALCULATED POINT
- ⊗ REBAR (SET)
- IRON PIPE (FOUND)
- ⊙ SEWER MANHOLE
- ⊙ REINFORCING BAR (FOUND)
- UTILITY POLE
- OVERHEAD UTILITY LINE
- - - UNDERGROUND UTILITY LINE
- - - ABUTTING BOUNDARY LINE
- - - BOUNDARY LINE TO BE REMOVED
- - - EXISTING BOUNDARY LINE
- - - NEW BOUNDARY LINE
- x FENCE

Boundary Line Adjustment
Lands of SEAM Properties LLC
Parcel ID# 19-420 & 19-414
South Main Street
Waterbury, Vermont

Date: 11/12/2021	Drawn By: GMS	Crd file: 21-125.crd	Project #: 21-125
Scale: 1"=30'	Surveyed By: DBM	Field Bk: 361	Sheet: S1-01

THIS PLAT IS BASED ON A FIELD SURVEY WHICH MEETS OR EXCEEDS THE MINIMUM STANDARDS AS SET FORTH BY THE VERMONT BOARD OF LAND SURVEYORS. FIELD EVIDENCE, PERTINENT RECORD INFORMATION, AND PAROLE EVIDENCE WAS USED IN THE CALCULATION AND DETERMINATION OF THE BOUNDARIES SHOWN ON THIS PLAT. ANY INCONSISTENCIES ARE SHOWN HEREON TO THE BEST OF MY KNOWLEDGE. THIS PLAT MEETS THE REQUIREMENTS OF 27 VSA 1403.



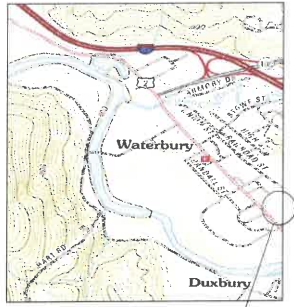
GERALD M. STOCKMAN, L.S. #109298



TRUDELL CONSULTING ENGINEERS
478 BLAIR PARK ROAD | WILLISTON, VERMONT 05495 802.879.6331 | WWW.TCEVT.COM



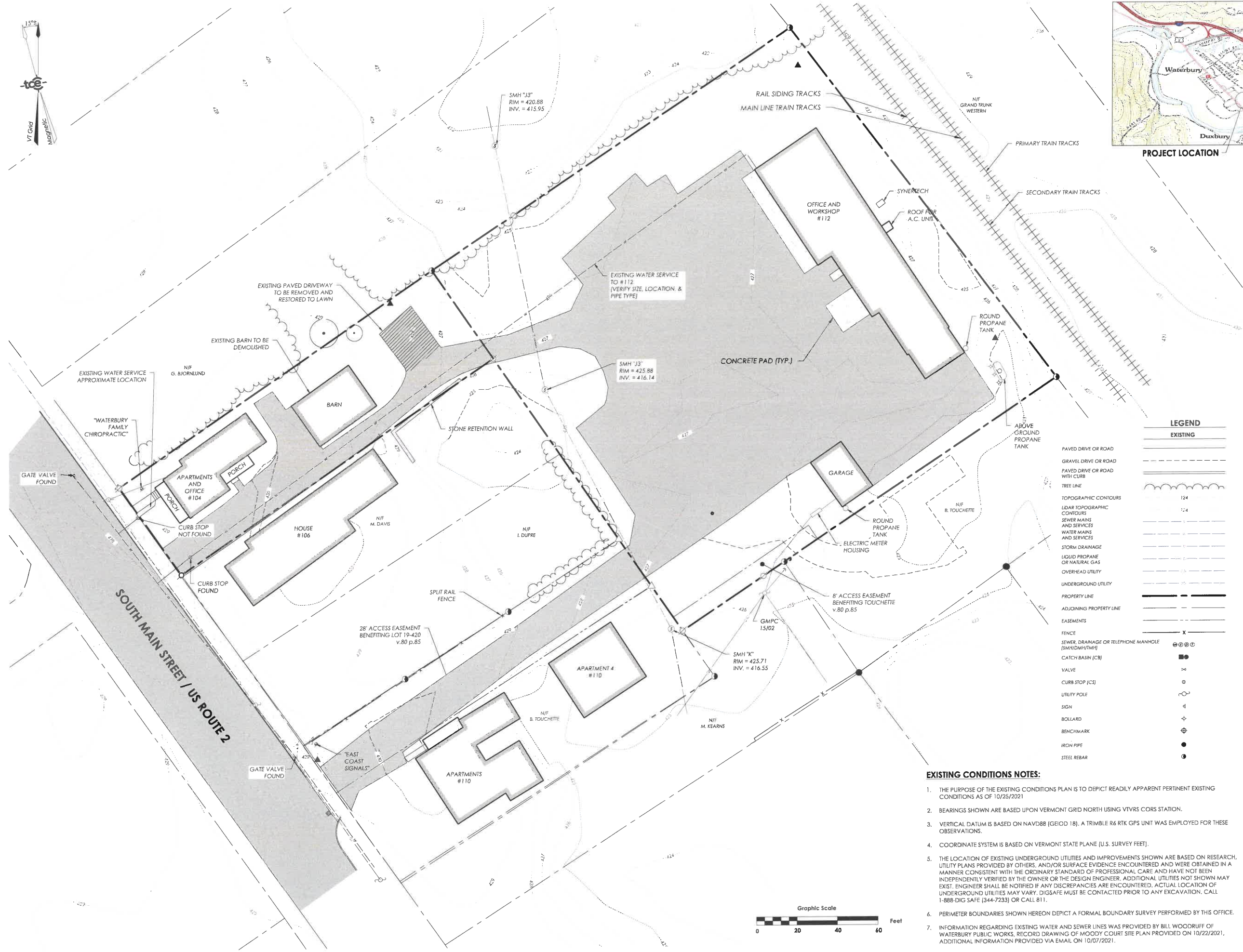
This plat was created using pigment based ink on stable media



ENGINEERING · SURVEY
PLANNING · ENVIRONMENTAL
 478 BLAIR PARK ROAD | WILKISTON, VERMONT 05455
 802.679.6331 | WWW.TCEVT.COM

Revisions
 No. Description Date By

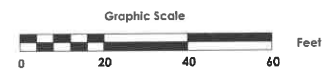
EXHIBIT D



LEGEND

EXISTING	
PAVED DRIVE OR ROAD	---
GRAVEL DRIVE OR ROAD	---
PAVED DRIVE OR ROAD WITH CURB	---
TREE LINE	~ ~ ~
TOPOGRAPHIC CONTOURS	124
LIAR TOPOGRAPHIC CONTOURS	124
SEWER MAINS AND SERVICES	---
WATER MAINS AND SERVICES	---
STORM DRAINAGE	---
LIQUID PROPANE OR NATURAL GAS	---
OVERHEAD UTILITY	---
UNDERGROUND UTILITY	---
PROPERTY LINE	---
ADJOINING PROPERTY LINE	---
EASEMENTS	---
FENCE	X
SEWER, DRAINAGE OR TELEPHONE MANHOLE (SMH/DMH/TMH)	⊙ ⊙ ⊙ ⊙
CATCH BASIN (CB)	■
VALVE	⊕
CURB STOP (CS)	○
UTILITY POLE	⊕
SIGN	⊕
BOLLARD	⊕
BENCHMARK	⊕
IRON PIPE	●
STEEL REBAR	⊙

- EXISTING CONDITIONS NOTES:**
- THE PURPOSE OF THE EXISTING CONDITIONS PLAN IS TO DEPICT READILY APPARENT PERTINENT EXISTING CONDITIONS AS OF 10/25/2021
 - BEARINGS SHOWN ARE BASED UPON VERMONT GRID NORTH USING VTVRS CORS STATION.
 - VERTICAL DATUM IS BASED ON NAVD88 (GEOID 18). A TRIMBLE R6 RTK GPS UNIT WAS EMPLOYED FOR THESE OBSERVATIONS.
 - COORDINATE SYSTEM IS BASED ON VERMONT STATE PLANE (U.S. SURVEY FEET).
 - THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS SHOWN ARE BASED ON RESEARCH, UTILITY PLANS PROVIDED BY OTHERS, AND/OR SURFACE EVIDENCE ENCOUNTERED AND WERE OBTAINED IN A MANNER CONSISTENT WITH THE ORDINARY STANDARD OF PROFESSIONAL CARE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE DESIGN ENGINEER. ADDITIONAL UTILITIES NOT SHOWN MAY EXIST. ENGINEER SHALL BE NOTIFIED IF ANY DISCREPANCIES ARE ENCOUNTERED. ACTUAL LOCATION OF UNDERGROUND UTILITIES MAY VARY. DIGSAFE MUST BE CONTACTED PRIOR TO ANY EXCAVATION. CALL 1-888-DIG SAFE (344-7233) OR CALL 811.
 - PERIMETER BOUNDARIES SHOWN HEREON DEPICT A FORMAL BOUNDARY SURVEY PERFORMED BY THIS OFFICE.
 - INFORMATION REGARDING EXISTING WATER AND SEWER LINES WAS PROVIDED BY BILL WOODRUFF OF WATERBURY PUBLIC WORKS, RECORD DRAWING OF MOODY COURT SITE PLAN PROVIDED ON 10/22/2021, ADDITIONAL INFORMATION PROVIDED VIA EMAIL ON 10/07/2021.



Use of These Drawings
 1. Unless otherwise noted, these Drawings are intended for preliminary planning, coordination with other disciplines or utilities, and/or approval from the regulatory authorities. They are not intended as construction drawings unless noted as such or marked approved by a regulatory authority.
 2. By use of these drawings for construction of the Project, the Owner represents that they have reviewed, approved, and accepted the drawings, obtained all necessary permits, and have met with all applicable parties/disciplines, including but not limited to, the Engineer and the Architect, to ensure these plans are properly coordinated including, but not limited to, contract documents, specifications, owner/contractor agreements, building and mechanical plans, private and public utilities, and other pertinent permits for construction.
 3. Owner and Architect are responsible for final design and location of buildings shown, including an area measured a minimum five (5) feet around any building and coordinating final utility connections shown on these plans.
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 6. It is the User's responsibility to ensure this copy contains the most current revisions.



Project Title:
Lamson
104 & 112 South Main St.
Waterbury, VT 05676

Sheet Title:
Existing Conditions & Demolition Plan

Date: 10/28/2021
 Scale: 1"=20'
 Project Number: 21-125
 Drawn By: DBM
 Project Engineer: SRK
 Approved By: JPP
 Field Book: 361

C1-01

PROJECT INFORMATION:

- OWNER OF RECORD: SEAM PROPERTIES, LLC
PO BOX 694
WATERBURY, VERMONT 05676
- TAX PARCEL ID: 916-0104.V
SPAN: 696-221-11358
- PHYSICAL ADDRESS OF PROPERTY: 104 SOUTH MAIN STREET
WATERBURY, VT 05676
- PARCEL SIZE: .21 ± ACRES
- DEED BOOK/ PAGE: 493/294

PURPOSE OF PLAN:

THE PURPOSE OF THIS PLAN IS TO CONSTRUCT A STATE-COMPLIANT WASTEWATER DISPOSAL SYSTEM AND POTABLE WATER SUPPLY SYSTEM FOR A PROPOSED 3 UNIT APARTMENT BUILDING ON A DEVELOPED LOT IN WATERBURY, VT. THE BUILDING SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY. FINAL SIZE AND SHAPE IS BY OWNER. ANY CHANGES IN DESIGN ELEVATIONS ARE TO BE CONFIRMED BY THE ENGINEER PRIOR TO CONSTRUCTION.

BASIS OF DESIGN FOR MUNICIPAL WATER SUPPLY:

AVERAGE DAY DEMAND
EXISTING
CHIROPRACTOR'S OFFICE: 32 GPD/THERAPIST * 1 THERAPIST = 32 GPD
4 GPD/CLIENT * 8 CLIENT MAX PER DAY = 32 GPD
2 UNIT APARTMENT BUILDING: 280 GPD/UNIT * 2 UNITS = 560 GPD

PROPOSED
2-BEDROOM APARTMENT: (70 GPD * 2 PEOPLE PER BEDROOM) * 2-BEDROOMS PER UNIT = 280 GPD PER LIVING UNIT
3 EA UNITS = 280 GPD/LIVING UNIT * 3 UNITS = 840 GPD
INCREASED DESIGN FLOW = 840 GPD
TOTAL PROPOSED DESIGN FLOW = 1,464 GPD

MAXIMUM DAY DEMAND
AVERAGE DAY DEMAND / 720 MIN = 1,464 GPD / 720 MIN = 2.03 GPM

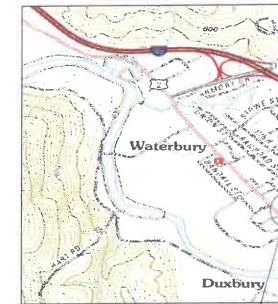
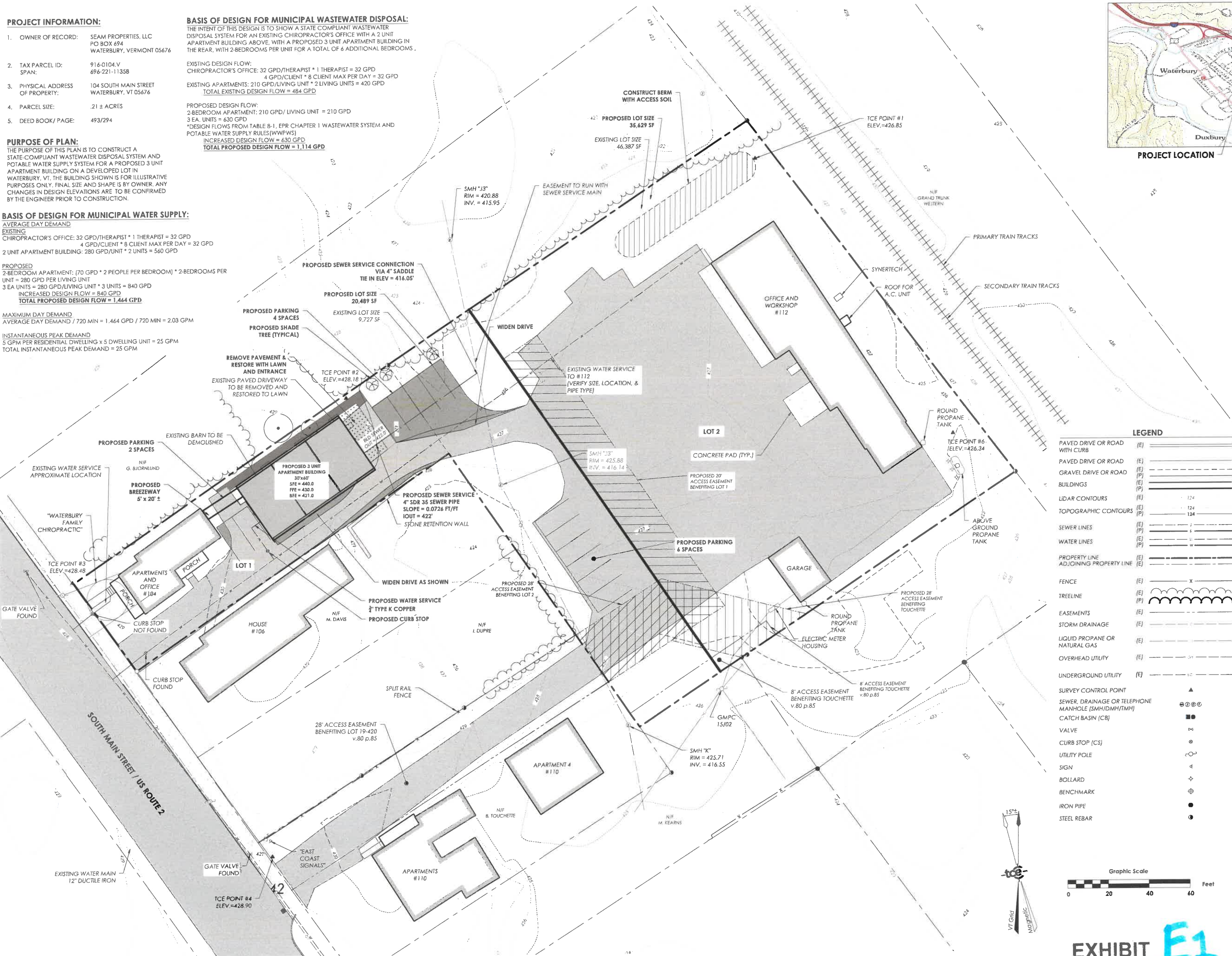
INSTANTANEOUS PEAK DEMAND
5 GPM PER RESIDENTIAL DWELLING x 5 DWELLING UNIT = 25 GPM
TOTAL INSTANTANEOUS PEAK DEMAND = 25 GPM

BASIS OF DESIGN FOR MUNICIPAL WASTEWATER DISPOSAL:

THE INTENT OF THIS DESIGN IS TO SHOW A STATE COMPLIANT WASTEWATER DISPOSAL SYSTEM FOR AN EXISTING CHIROPRACTOR'S OFFICE WITH A 2 UNIT APARTMENT BUILDING ABOVE, WITH A PROPOSED 3 UNIT APARTMENT BUILDING IN THE REAR, WITH 2-BEDROOMS PER UNIT FOR A TOTAL OF 6 ADDITIONAL BEDROOMS.

EXISTING DESIGN FLOW:
CHIROPRACTOR'S OFFICE: 32 GPD/THERAPIST * 1 THERAPIST = 32 GPD
4 GPD/CLIENT * 8 CLIENT MAX PER DAY = 32 GPD
EXISTING APARTMENTS: 210 GPD/LIVING UNIT * 2 LIVING UNITS = 420 GPD
TOTAL EXISTING DESIGN FLOW = 484 GPD

PROPOSED DESIGN FLOW:
2-BEDROOM APARTMENT: 210 GPD/ LIVING UNIT = 210 GPD
3 EA. UNITS = 630 GPD
*DESIGN FLOWS FROM TABLE 8-1, EPR CHAPTER 1 WASTEWATER SYSTEM AND POTABLE WATER SUPPLY RULES (WPPWS)
INCREASED DESIGN FLOW = 630 GPD
TOTAL PROPOSED DESIGN FLOW = 1,114 GPD

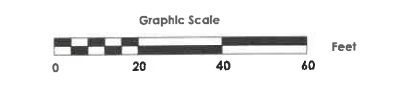


Revisions	No.	Description	Date	By
	1	Increase Parking From 10 Spaces to 12 Spaces	01/19/2022	JPP
	2	Revise Per Town Comments	01/24/2022	JPP

494-221-11358
Use of These Drawings:
1. Unless otherwise noted, these Drawings are intended for preliminary planning, coordination with other disciplines or utilities, and/or approval from the regulatory authorities. They are not intended as construction drawings unless noted as such or marked approved by a regulatory authority.
2. By use of these drawings for construction of the Project, the Owner represents that they have reviewed, approved, and accepted the drawings, obtained all necessary permits, and have met with all applicable parties/disciplines, including but not limited to, the Engineer and the Architect, to have these plans properly coordinated including, but not limited to, contract documents, specifications, owner/contractor agreements, building and mechanical plans, private and public utilities, and other pertinent permits for construction.
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LEGEND

PAVED DRIVE OR ROAD WITH CURB	(E)	---
PAVED DRIVE OR ROAD	(E)	---
GRAVEL DRIVE OR ROAD	(E)	---
BUILDINGS	(E)	---
UDAR CONTOURS	(E)	124
TOPOGRAPHIC CONTOURS	(E)	124
SEWER LINES	(E)	---
WATER LINES	(E)	---
PROPERTY LINE	(E)	---
ADJOINING PROPERTY LINE	(E)	---
FENCE	(E)	X
TREELINE	(E)	---
EASEMENTS	(E)	---
STORM DRAINAGE	(E)	---
LIQUID PROPANE OR NATURAL GAS	(E)	---
OVERHEAD UTILITY	(E)	---
UNDERGROUND UTILITY	(E)	---
SURVEY CONTROL POINT	(E)	▲
SEWER, DRAINAGE OR TELEPHONE MANHOLE (SMH/DMH/TMH)	(E)	⊙
CATCH BASIN (CB)	(E)	■
VALVE	(E)	⊕
CURB STOP (CS)	(E)	⊙
UTILITY POLE	(E)	⊖
SIGN	(E)	+
BOLLARD	(E)	⊕
BENCHMARK	(E)	⊕
IRON PIPE	(E)	●
STEEL REBAR	(E)	⊙



Project Title
SEAM Properties, LLC
104 & 112 South Main St.
Waterbury, VT 05676

Sheet Title
Master Site Plan

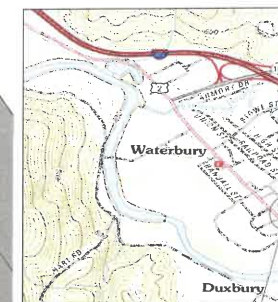
Date: 1/11/2021
Scale: 1" = 20'
Project Number: 21-125
Drawn By: SRK
Project Engineer: SRK
Approved By: JPP
Field Book: 361

C2-01

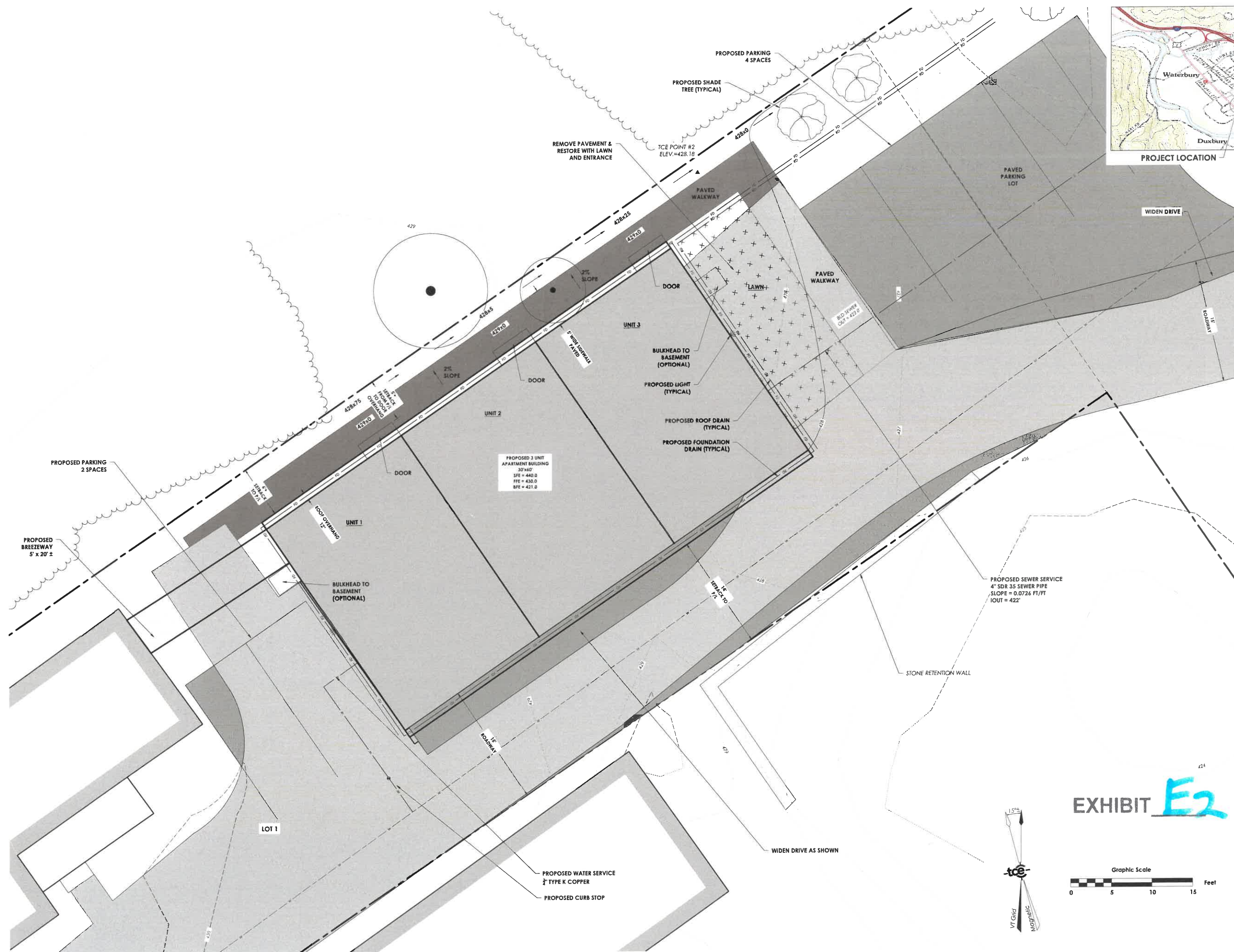
EXHIBIT **E1**



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 PLANNING • ENVIRONMENTAL
 478 BLAIR PARK ROAD | WILLISTON, VERMONT 05495
 802 879 6331 | www.tcevt.com



Revisions	No.	Description	Date	By



- 494-221-11388
- Use of These Drawings
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Project Title

SEAM Properties, LLC
 104 & 112 South Main St.
 Waterbury, VT 05676

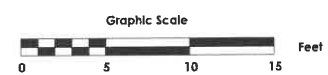
Sheet Title

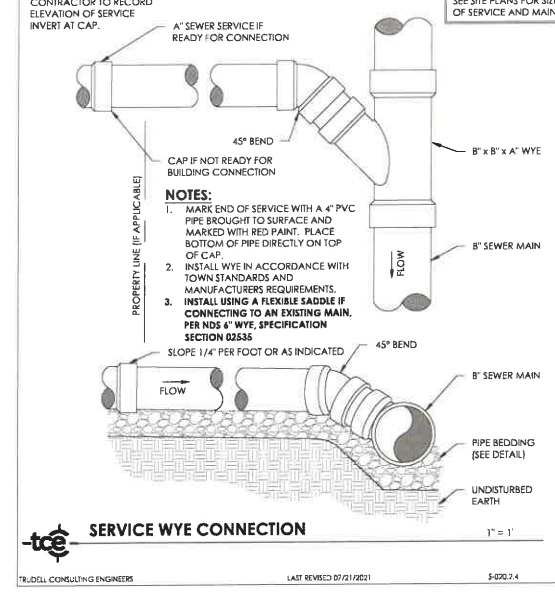
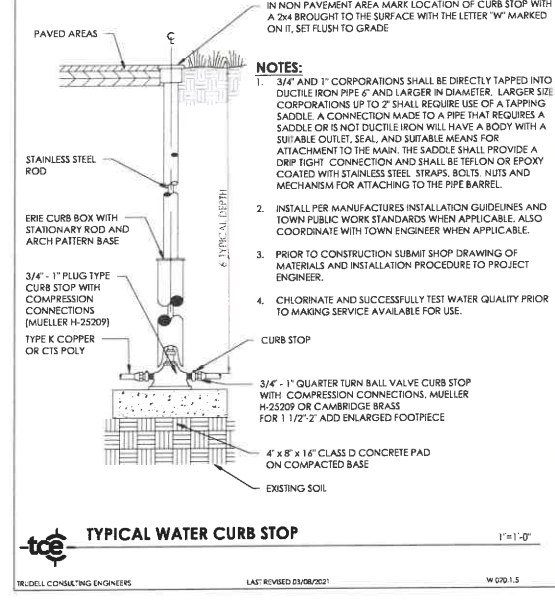
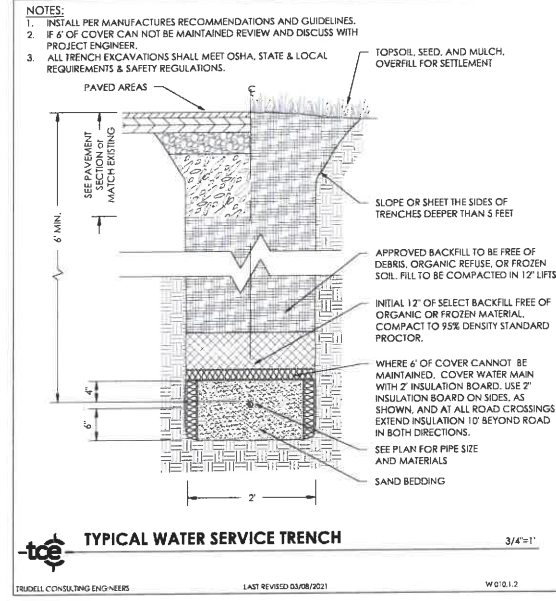
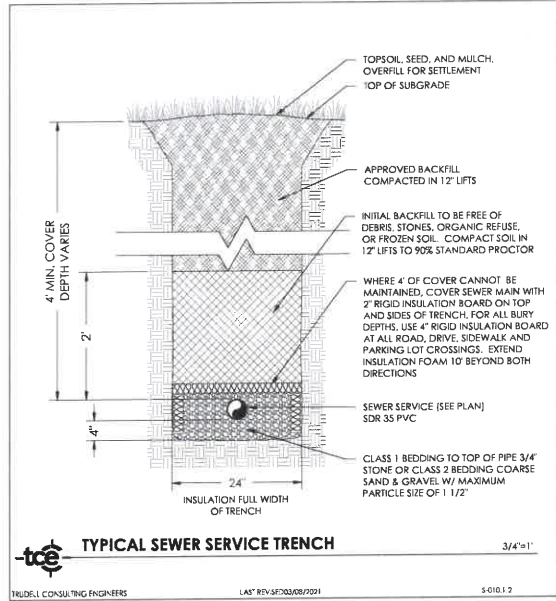
Site Plan

Date:	1/24/2022
Scale:	1" = 5'
Project Number:	21-125
Drawn By:	JMH
Project Engineer:	SRK
Approved By:	JPP
Field Book:	361

C2-02

EXHIBIT **E2**





DISINFECTING WATER MAINS AND SYSTEMS

*ALL TESTING SHALL BE PERFORMED IN THE PRESENCE OF THE TOWN ENGINEER OR PUBLIC WORKS DEPARTMENT AND PROJECT ENGINEER (AS DESIGNATED BY OWNER).

A. PRIOR TO BEING PUT INTO SERVICE, WATER MAINS SHALL BE DISINFECTED ACCORDING TO THE LATEST EDITION OF AWWA SPECIFICATION C-651. THE TABLE METHOD IN AWWA STANDARD 651 IS NOT ACCEPTABLE.

B. THE NEW LINE SHALL BE FLUSHED AT A VELOCITY OF NOT LESS THAN 2.5 FEET PER SECOND (OPEN 2-1/2 INCH HYDRANT CONNECTION). FLUSH FOR A PERIOD DETERMINED BY THE PROJECT ENGINEER FOR THE LENGTH OF MAIN TO BE DISINFECTED.

C. CHLORINATION SHALL BE ACCOMPLISHED BY INTRODUCING A SODIUM HYPOCHLORITE SOLUTION FOR A RESULTANT CONCENTRATION OF GREATER THAN 25 PARTS PER MILLION OF FREE CHLORINE.

D. USING A NOZZLE AT EACH END HYDRANT, CONTROL THE RATE OF FLOW INTO THE NEW MAIN AND PROPORTIONALLY FEED THE SODIUM HYPOCHLORITE SOLUTION INTO THE MAIN. AFTER THE SOLUTION HAS REACHED ALL POINTS IN THE SYSTEM, CLOSE THE VALVE SUPPLYING WATER FROM THE EXISTING MAIN AND THE END HYDRANTS. MAINTAIN THE HEAVILY CHLORINATED WATER IN THE MAIN FOR 24 HOURS DURING WHICH TIME ALL MAIN LINE VALVES SHOULD BE OPERATED. AFTER 24 HOURS THE MINIMUM CHLORINE RESIDUAL MUST BE AT LEAST 10 PARTS PER MILLION.

E. FLUSH HEAVILY CHLORINATED WATER FROM THE LINE AND REFILL THE LINE FOR SERVICE (USE CHLORINE DIFFUSER). TAKE AND SUBMIT TWO BACTERIOLOGICAL SAMPLES (TAKEN 24 HOURS APART) OF THE WATER TO THE STATE OF VERMONT OR A STATE APPROVED TESTING LABORATORY. IF THE RESULTS ARE UNSATISFACTORY, THE DISINFECTION PROCEDURE WILL BE REPEATED UNTIL SATISFACTORY RESULTS ARE OBTAINED.

F. FINISHED WATER STORAGE STRUCTURES SHALL BE DISINFECTED IF APPLICABLE. IN ACCORDANCE WITH CURRENT AWWA STANDARD C-652, TWO OR MORE SUCCESSIVE SETS OF SAMPLES, TAKEN AT 24 HOUR INTERVALS, SHALL INDICATE MICROBIOLOGICALLY SATISFACTORY WATER BEFORE THE FACILITY IS PLACED INTO OPERATION.

G. DISPOSAL OF HEAVILY CHLORINATED WATER FROM THE DISINFECTION PROCESS SHALL BE DE-CHLORINATED OR OTHERWISE HANDLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE VERMONT AGENCY OF NATURAL RESOURCES.

H. THE DISINFECTION PROCEDURE (AWWA CHLORINATION METHOD 3, SECTION 4.3 C-652) WHICH ALLOWS USE OF THE CHLORINATED WATER HELD IN THE STORAGE TANK FOR DISINFECTION PURPOSES IS NOT RECOMMENDED. WHEN THAT PROCEDURE IS USED, IT IS REQUIRED THAT THE INITIAL HEAVILY CHLORINATED WATER BE PROPERLY DISPOSED IN ORDER TO PREVENT RELEASE OF WATER WHICH MAY CONTAIN VARIOUS CHLORINATED ORGANIC COMPOUNDS INTO THE DISTRIBUTION SYSTEM.

DISINFECTION OF WATER SYSTEM

TRIDELL CONSULTING ENGINEERS LAST REVISED 03/04/2021 W 000.2.2

CONTRACTOR'S CERTIFICATION REQUIRED

PRIOR TO THE DESIGN ENGINEER CERTIFYING THAT THE INSTALLATION HAS BEEN INSTALLED IN ACCORDANCE WITH THE PERMITTED DESIGN, THE CONTRACTOR SHALL PROVIDE A CERTIFICATION THAT THE WATER SYSTEM WAS INSTALLED AND TESTED IN ACCORDANCE WITH THE APPROVED DESIGN PLANS. STATE PERMITS REQUIRE THERE SHALL BE NO DEVIATIONS FROM THE APPROVED PLANS WITHOUT PRIOR APPROVALS. THE DESIGN ENGINEER SHALL BE NOTIFIED AND ALLOWED TO OBSERVE THE CRITICAL PHASES OF CONSTRUCTION INCLUDING ANY REQUIRED TESTS. LIKEWISE, THE DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DEVIATIONS FROM THE APPROVED PLANS. SINCE THE DESIGN ENGINEER DOES NOT CUSTOMARILY OBSERVE ALL PHASES OF THE WORK, OR ALL TESTING, HE MAY RELY ON THE CONTRACTOR'S CERTIFICATION AS THE BASIS FOR FINAL CERTIFICATION. THE CONTRACTOR SHALL THEREFORE SIGN AND RETURN A COPY OF THE FOLLOWING CERTIFICATION UPON COMPLETION OF THE WORK.

"I HEREBY CERTIFY THAT I HAVE INSTALLED, PROPERLY TESTED, AND SUCCESSFULLY PASSED THOSE TESTS, AND THE WATER SYSTEM(S) ARE BUILT IN ACCORDANCE WITH THE APPROVED DESIGN PLANS AND APPLICABLE PERMIT CONDITIONS."

THE CONTRACTOR CERTIFICATION INCLUDES SUPPLIERS AND SUB-CONTRACTORS

CONTRACTOR NAME: _____

AUTHORIZED AGENTS NAME: _____

SIGNATURE: _____ DATE: _____

NOTE ANY DEVIATIONS FROM APPROVED PLANS HERE: _____

NOTE: THE CERTIFICATION AND THE PROJECT ENGINEER'S SUBSEQUENT CERTIFICATION DOES NOT VOID THE CONTRACTOR FROM REPAIR OR REPLACEMENT OF DISCREPANCIES DISCOVERED AT A LATER DATE. THE CONTRACTOR REMAINS RESPONSIBLE, INCLUDING CUSTOMARY GUARANTEE AND WARRANTY PERIODS.

CONTRACTOR'S CERTIFICATION FOR WATER SYSTEM

TRIDELL CONSULTING ENGINEERS LAST REVISED 03/08/2021 W 000.2.1

CONTRACTOR'S CERTIFICATION REQUIRED

PRIOR TO THE DESIGN ENGINEER CERTIFYING THAT THE INSTALLATION HAS BEEN INSTALLED IN GENERAL ACCORDANCE WITH THE PERMITTED DESIGN, THE CONTRACTOR SHALL PROVIDE A CERTIFICATION THAT THE WASTEWATER SYSTEM WAS INSTALLED AND TESTED IN ACCORDANCE WITH THE APPROVED DESIGN PLANS. STATE PERMITS REQUIRE THERE SHALL BE NO DEVIATIONS FROM THE APPROVED PLANS WITHOUT PRIOR APPROVALS. THE DESIGN ENGINEER SHALL BE NOTIFIED AND ALLOWED TO OBSERVE THE CRITICAL PHASES OF CONSTRUCTION INCLUDING ANY REQUIRED TESTS. LIKEWISE, THE DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DEVIATIONS FROM THE APPROVED PLANS. SINCE THE DESIGN ENGINEER DOES NOT CUSTOMARILY OBSERVE ALL PHASES OF THE WORK, OR ALL TESTING, HE MAY RELY ON THE CONTRACTOR'S CERTIFICATION AS THE BASIS FOR FINAL CERTIFICATION. THE CONTRACTOR SHALL THEREFORE SIGN AND RETURN A COPY OF THE FOLLOWING CERTIFICATION UPON COMPLETION OF THE WORK.

"I HEREBY CERTIFY THAT I HAVE INSTALLED, PROPERLY TESTED, AND SUCCESSFULLY PASSED THOSE TESTS, AND THE WASTEWATER DISPOSAL AND COLLECTION SYSTEM(S) ARE BUILT IN GENERAL ACCORDANCE WITH THE APPROVED DESIGN PLANS AND APPLICABLE PERMIT CONDITIONS."

THE CONTRACTOR CERTIFICATION INCLUDES SUPPLIERS AND SUB-CONTRACTORS

CONTRACTOR NAME: _____

AUTHORIZED AGENTS NAME: _____

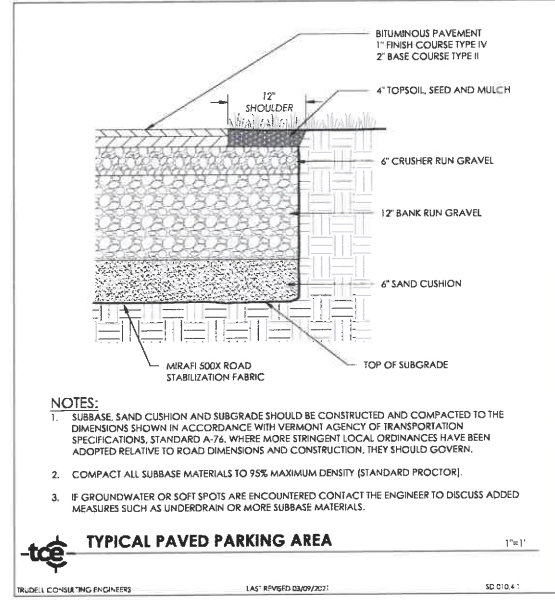
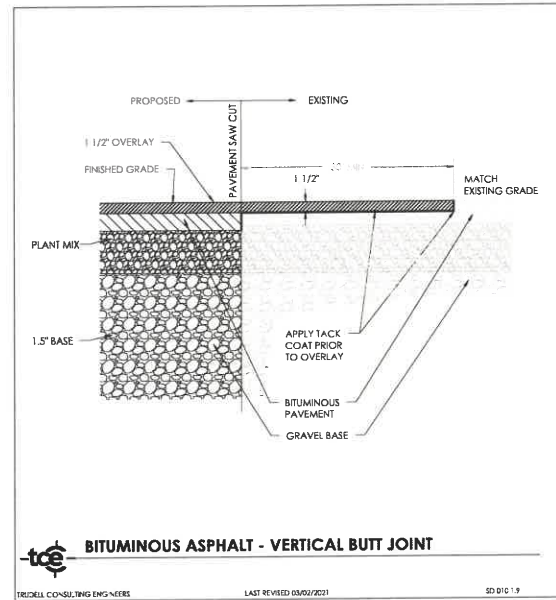
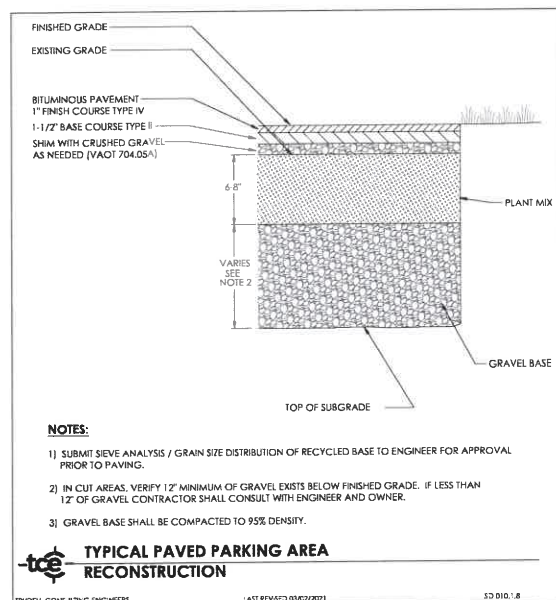
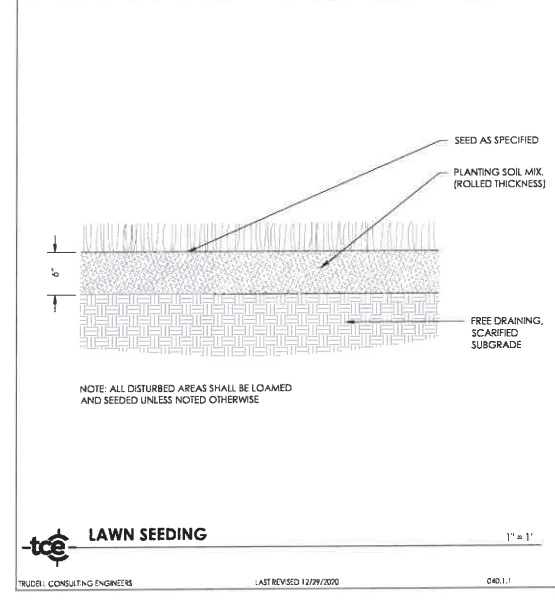
SIGNATURE: _____ DATE: _____

NOTE ANY DEVIATIONS FROM APPROVED PLANS HERE: _____

NOTE: THE CERTIFICATION AND THE PROJECT ENGINEER'S SUBSEQUENT CERTIFICATION DOES NOT VOID THE CONTRACTOR FROM REPAIR OR REPLACEMENT OF DISCREPANCIES DISCOVERED AT A LATER DATE. THE CONTRACTOR REMAINS RESPONSIBLE, INCLUDING CUSTOMARY GUARANTEE AND WARRANTY PERIODS.

CONTRACTOR'S CERTIFICATION FOR WASTEWATER SYSTEM

TRIDELL CONSULTING ENGINEERS LAST REVISED 06/14/2021 S 000.1.2



Revisions	No.	Description	Date	By
1	1	Revise Per Town Comments	01/24/2022	JPP

816-221-11388

Use of These Drawings
1. Unless otherwise noted, these drawings are intended for preliminary planning, coordination with other disciplines or utilities, and/or approval from the regulatory authorities. They are not intended as construction drawings unless noted as such or marked approved by a regulatory authority.

2. By use of these drawings for construction of the Project, the Owner represents that they have reviewed, approved, and accepted the drawings, obtained all necessary permits, and have met with all applicable parties/disciplines, including but not limited to, the Engineer and the Architect, to insure these plans are properly coordinated including, but not limited to, contract documents, specifications, owner/contractor agreements, building and mechanical plans, private and public utilities, and other pertinent permits for construction.

3. Owner and Architect, are responsible for final design and location of buildings shown, including an area measured a minimum five (5) feet around any building and coordinating final utility connections shown on these plans.

4. Prior to using these plans for construction layout, the user shall contact TCE to ensure the plan contains the most current revisions.

5. These Drawings are specific to the Project and are not transferable. As instruments of service, these drawings, and copies thereof, furnished by TCE are its exclusive property. Changes to the drawings may only be made by TCE. If errors or omissions are discovered, they shall be brought to the attention of TCE immediately.

6. It is the User's responsibility to ensure this copy contains the most current revisions.



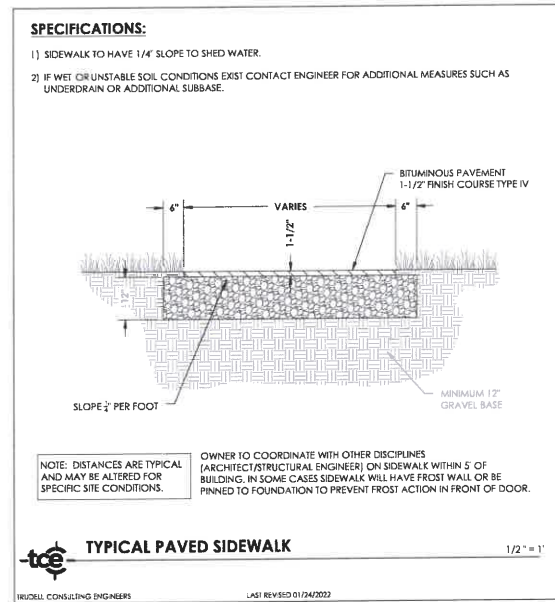
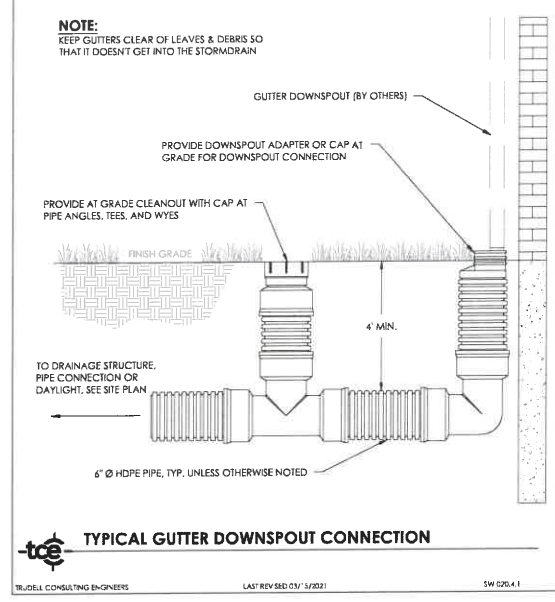
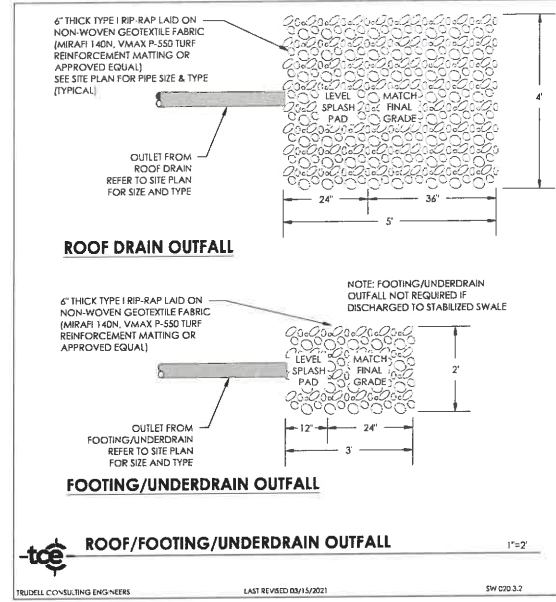
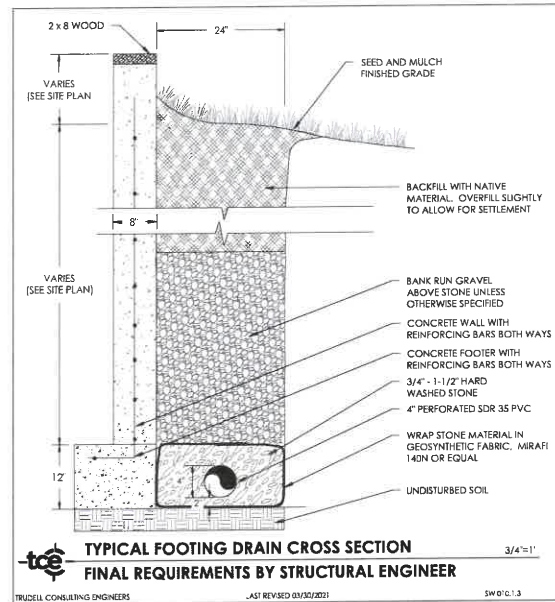
Project Title

SEAM Properties, LLC
104 & 112 South Main St.
Waterbury, VT 05676

Sheet Title

Details

Date:	11/11/2021
Scale:	AS SHOWN
Project Number:	21-125
Drawn By:	SRK
Project Engineer:	SRK
Approved By:	JPP
Field Book:	361



CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTION AND PROGRAMS IN CONNECTION WITH THE WORK. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF, AND SHALL PROVIDE THE NECESSARY PROTECTION TO PREVENT DAMAGE INJURY OR LOSS TO:

- ALL EMPLOYEES ON THE WORK AND OTHER PERSONS WHO MAY BE AFFECTED THEREBY.
- ALL THE WORK AND ALL MATERIALS OR EQUIPMENT TO BE INCORPORATED THEREIN, WHETHER IN STORAGE ON OR OFF THE SITE, AND
- OTHER PROPERTY AT THE SITE OR ADJACENT THERETO, INCLUDING TREES, SHRUBS, LAWNS, WALKS, PAVEMENTS, ROADWAYS, STRUCTURES AND UTILITIES NOT DESIGNATED FOR REMOVAL, RELOCATION OR REPLACEMENT IN THE COURSE OF CONSTRUCTION.

CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE STANDARDS (SPECIFICALLY INCLUDING OSHA, OSHA AND ANY OTHER STATE ADOPTED OSHA PROGRAM), LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY OR TO PROTECT THEM FROM DAMAGE, INJURY OR LOSS, AND SHALL ERECT AND MAINTAIN ALL NECESSARY SAFEGUARDS FOR SUCH SAFETY AND PROTECTION. CONTRACTOR SHALL NOTIFY OWNERS OF ADJACENT PROPERTY AND UTILITIES WHEN EXECUTION OF THE WORK MAY AFFECT THEM.

CONTRACTOR'S RESPONSIBILITIES FOR THE SAFETY AND PROTECTION OF THE WORK SHALL CONTINUE UNTIL SUCH TIME AS ALL THE WORK IS COMPLETED.

LISTED BELOW IS A BRIEF SUMMARY OF CONSTRUCTION PHASE REQUIREMENTS. THIS LIST IS NOT INTENDED TO BE ALL-INCLUSIVE. CONSTRUCTION SPECIFICATIONS, PERMIT REQUIREMENTS AND SUBSEQUENT CONTRACTUAL AGREEMENTS FROM PARTIES INVOLVED SHALL PREVAIL.

PRE-CONSTRUCTION

- OWNER TO ESTABLISH SCOPE OF SERVICES WITH PROJECT ENGINEER(S)
- OWNER TO IDENTIFY WORK SCOPE AND SCHEDULE
- UPON OWNER REQUEST, ENGINEER WILL ASSIST WITH CONTRACTOR BID AND SELECTION PROCESS
- ENGINEER TO FINALIZE PLANS FOR CONSTRUCTION READINESS INCLUDING SPECIFICATIONS
- MEETING BETWEEN OWNER, ENGINEER(S), CONTRACTOR(S), ARCHITECT(S), REGULATORY AUTHORITIES AND OTHER PERTINENT PARTIES TO REVIEW AND DISCUSS THE WORK

PRE-CONSTRUCTION MEETING

- CONTRACTOR TO IDENTIFY SUPERINTENDENT WITH AUTHORITY TO MAKE DECISIONS
- CONTRACTOR TO IDENTIFY SUBCONTRACTORS
- CONTRACTOR TO ESTABLISH SCHEDULE
- CONTRACTOR TO DESIGNATE RESPONSIBLE PERSONNEL
- CONTRACTOR TO CONFIRM PROCEDURE FOR RFIs, CHANGE ORDERS, EXTRAS AND PAY REQUESTS
- CONTRACTOR TO SUBMIT SHOP DRAWINGS
- CONTRACTOR TO OUTLINE SAFETY, SECURITY, AND WORKING HOURS
- CONTRACTOR OR OWNER TO IDENTIFY TESTING COMPANY

CONSTRUCTION PHASE

- INITIAL CONTROL SUPPLIED BY OWNER AND CONTRACTOR RESPONSIBLE FOR LAYOUT
- PROJECT ENGINEER TO ESTABLISH BENCHMARK AND IN SOME CASES INITIAL SITE LAYOUT
- DISCUSS RESTRICTIONS SUCH AS, BUT NOT LIMITED TO, WETLANDS OR TREE LINE
- REVIEW EXISTING AND REQUIRED PERMITS
- DISSAFE AND PERMIT NUMBER
- ADDITIONAL UNDERGROUND LAYOUT BY PRIVATE COMPANY
- DISCUSS EROSION CONTROL
- OWNER TO PROVIDE PROJECT ENGINEER TO OBSERVE CONSTRUCTION PERIODICALLY, DURING CRITICAL PHASES AND TESTING
- WEEKLY JOB MEETINGS DURING CONSTRUCTION
- OWNER TO PROVIDE PROJECT ENGINEER TO REVIEW AND DISCUSS PLANS, ANSWER QUESTIONS, RESPOND TO CHANGES, APPROVE SUBMITTALS, AND OTHER BUSINESS COMMON TO CONSTRUCTION SERVICES.
- ENGINEER TO OBSERVE TESTING AND COLLECT RESULTS
- OWNER AND CONTRACTOR TO COMPLY WITH PERMITS
- CONTRACTOR CERTIFICATION (PROVIDED BY CONTRACTOR)
- PICTURE AND RECORD DRAWINGS (PROVIDED BY CONTRACTOR)

Revisions	No.	Description	Date	By

616-221-11358

Use of These Drawings
1. Unless otherwise noted, these Drawings are intended for preliminary planning, coordination with other disciplines or utilities, and/or approval from the regulatory authorities. They are not intended as construction drawings unless noted as such or marked approved by a regulatory authority.

2. By use of these drawings for construction of the Project, the Owner represents that they have reviewed, approved, and accepted the drawings, obtained all necessary permits, and have met with all applicable parties/disciplines, including but not limited to, the Engineer and the Architect, to insure these plans are properly coordinated including, but not limited to, contract documents, specifications, owner/contractor agreements, building and mechanical plans, private and public utilities, and other pertinent permits for construction.

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6. It is the User's responsibility to ensure this copy contains the most current revisions.

John P. Kowich
No. 8104
CIVIL
LICENSED PROFESSIONAL ENGINEER
STATE OF VERMONT

Project Title
SEAM Properties, LLC
104 & 112 South Main St.
Waterbury, VT 05676

Sheet Title
Miscellaneous Details

Date: 1/24/2022
Scale: AS SHOWN
Project Number: 21-125
Drawn By: JMH
Project Engineer: SRK
Approved By: JPP
Field Book: 361

EXHIBIT **E4**

C8-02

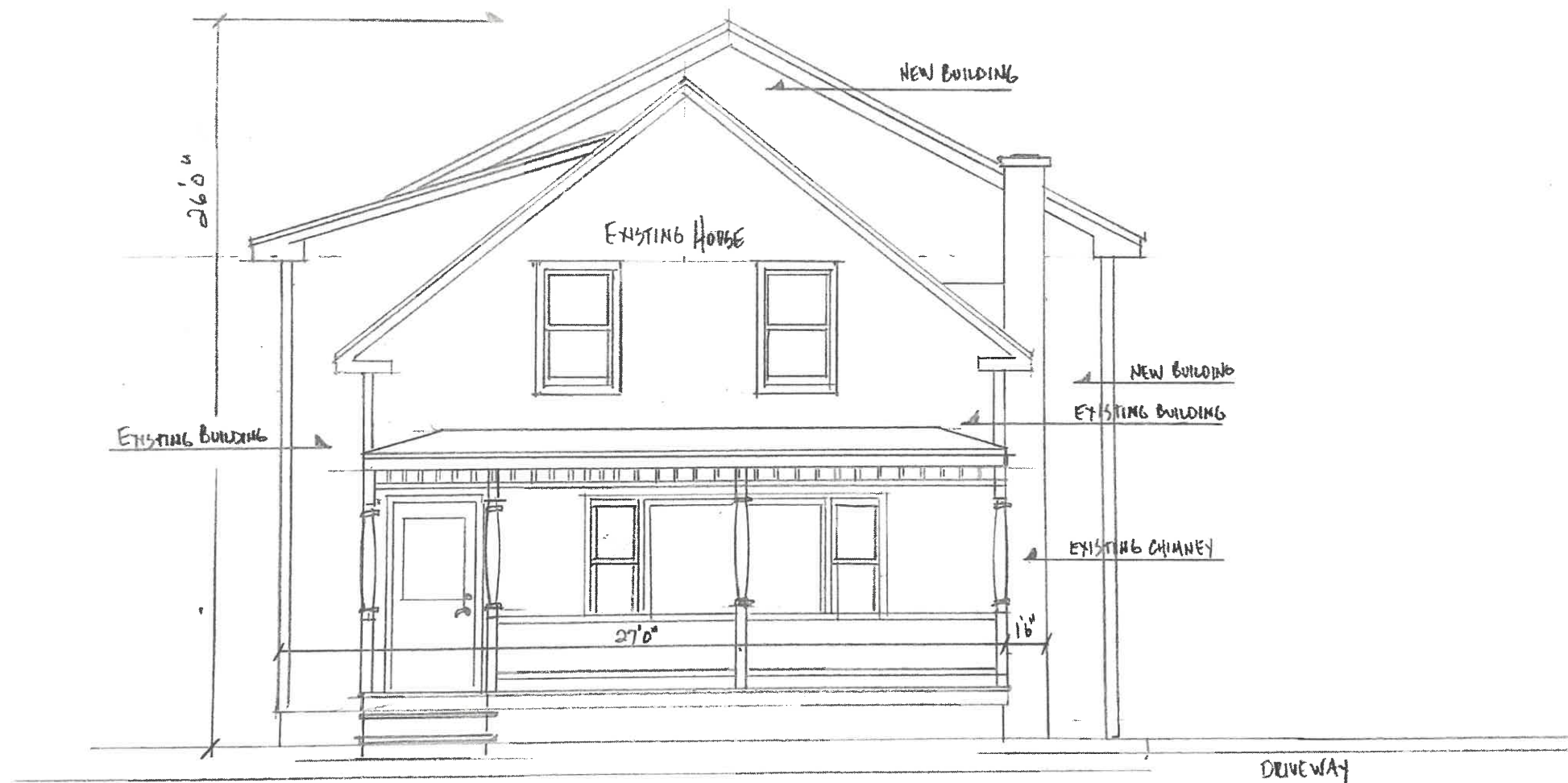
SEAM PROPERTIES

104 S. MAIN ST.

PROPOSED 3-UNIT

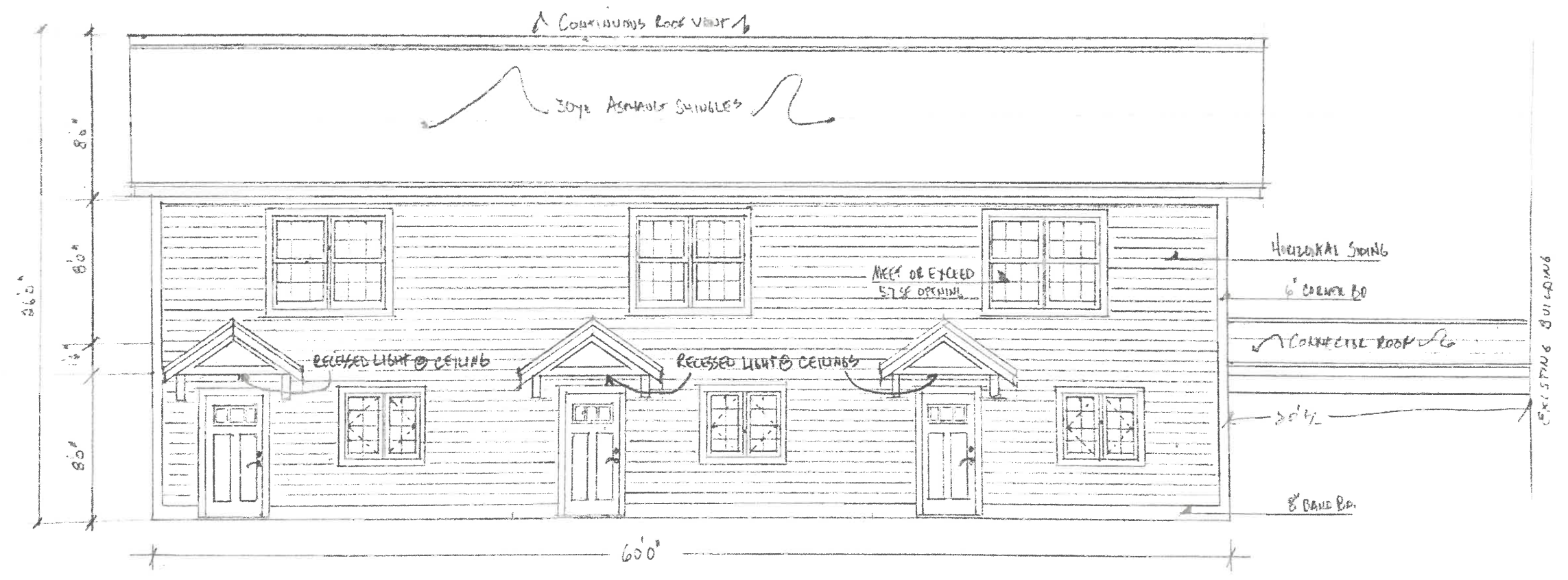
1/4" = 10'

VIEW FROM S.D. MAIN STREET 1/4" = 10'



SEEN PROPERTIES
104 So. MAIN ST
PROPOSED 3-UNIT

North Elevation 3/16" 1/8"



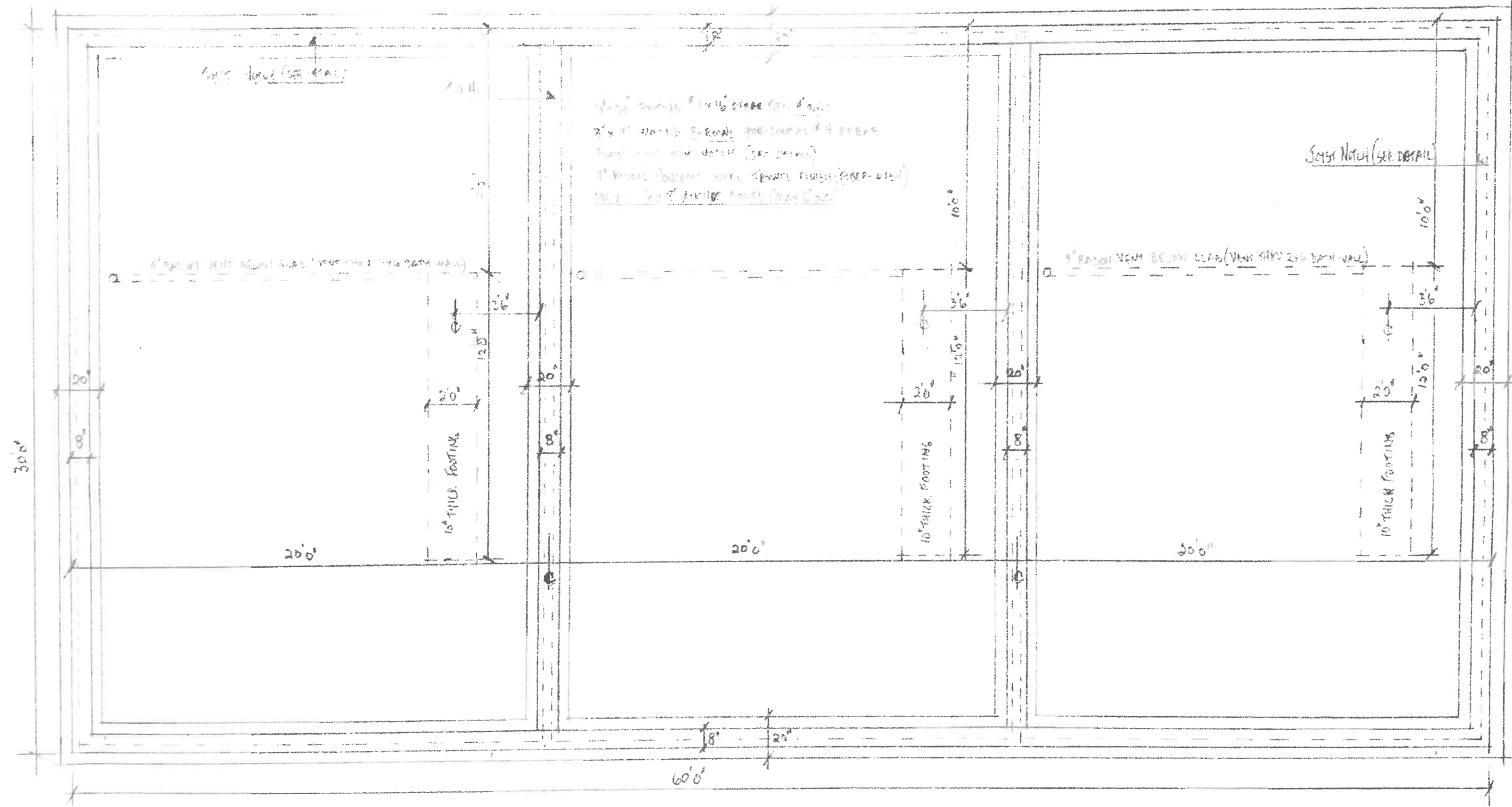
SEAN PROPERTIES
104 S. MAIN ST
PROPOSED 2-UNIT
30' x 40'



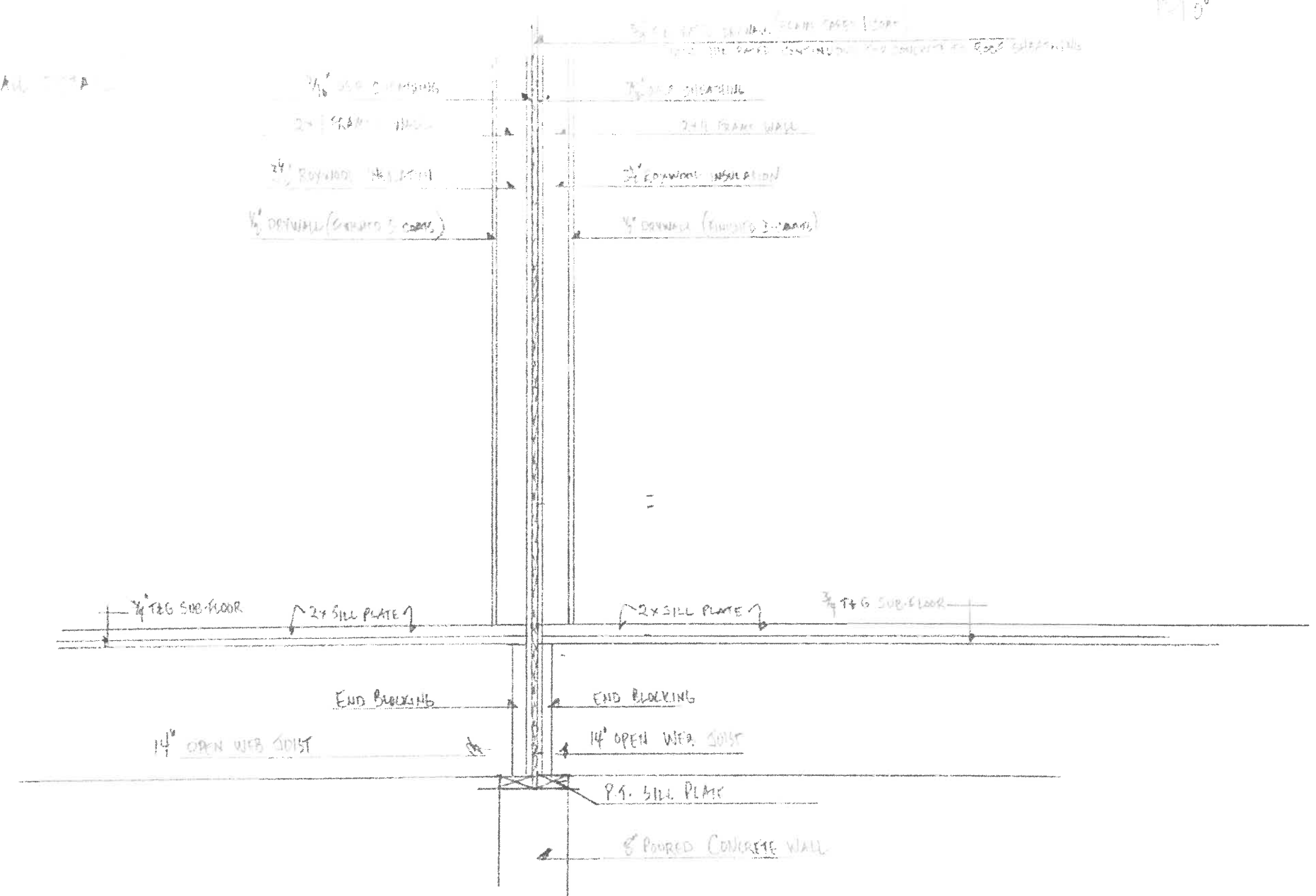


SECTION 11.1.1.1 (11-1)

SEAM PROPERTIES
104 & MAIN ST
PROPOSED 3-UNIT
1/4" x 1 1/2"



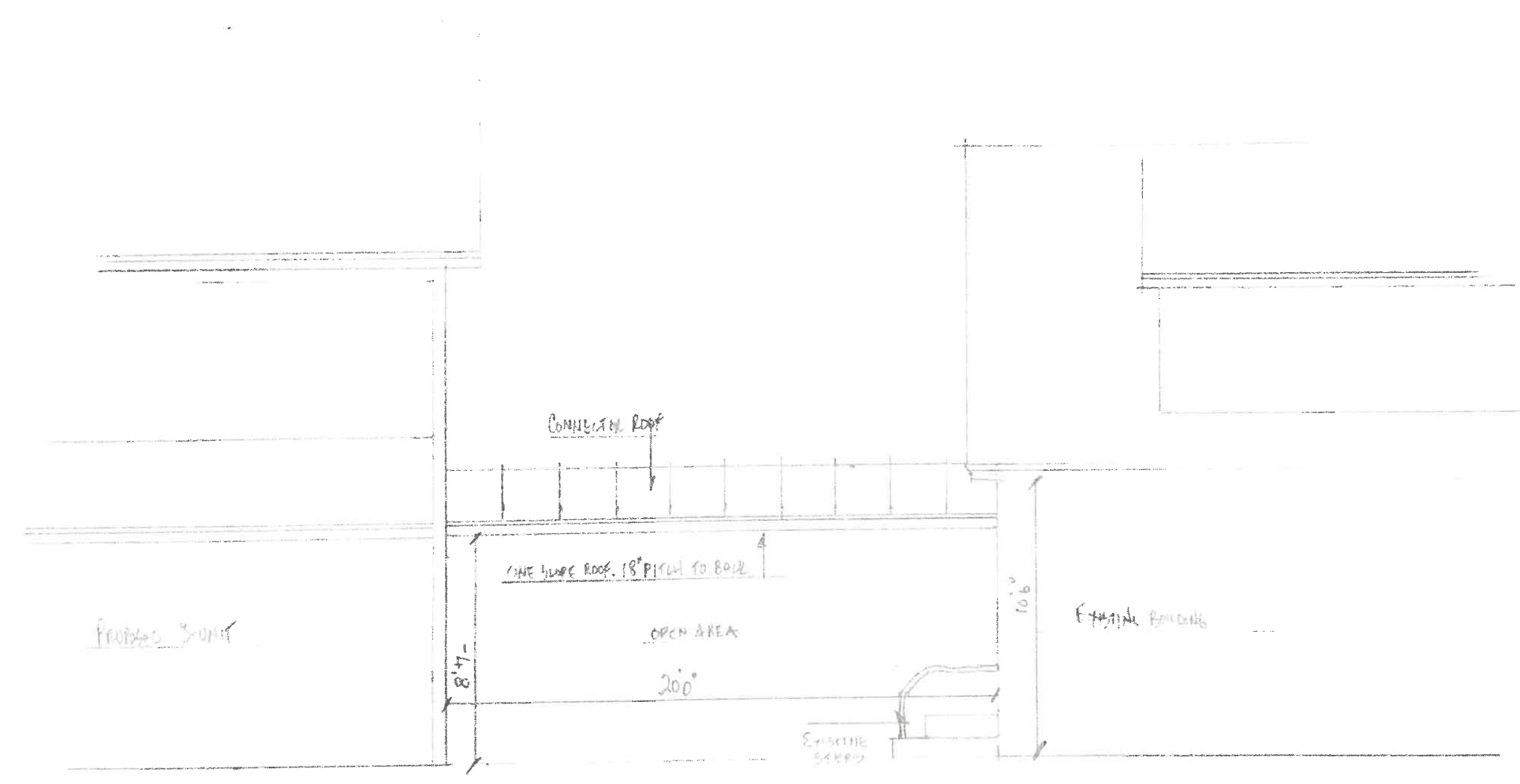
FACING WALL - 1'-0"

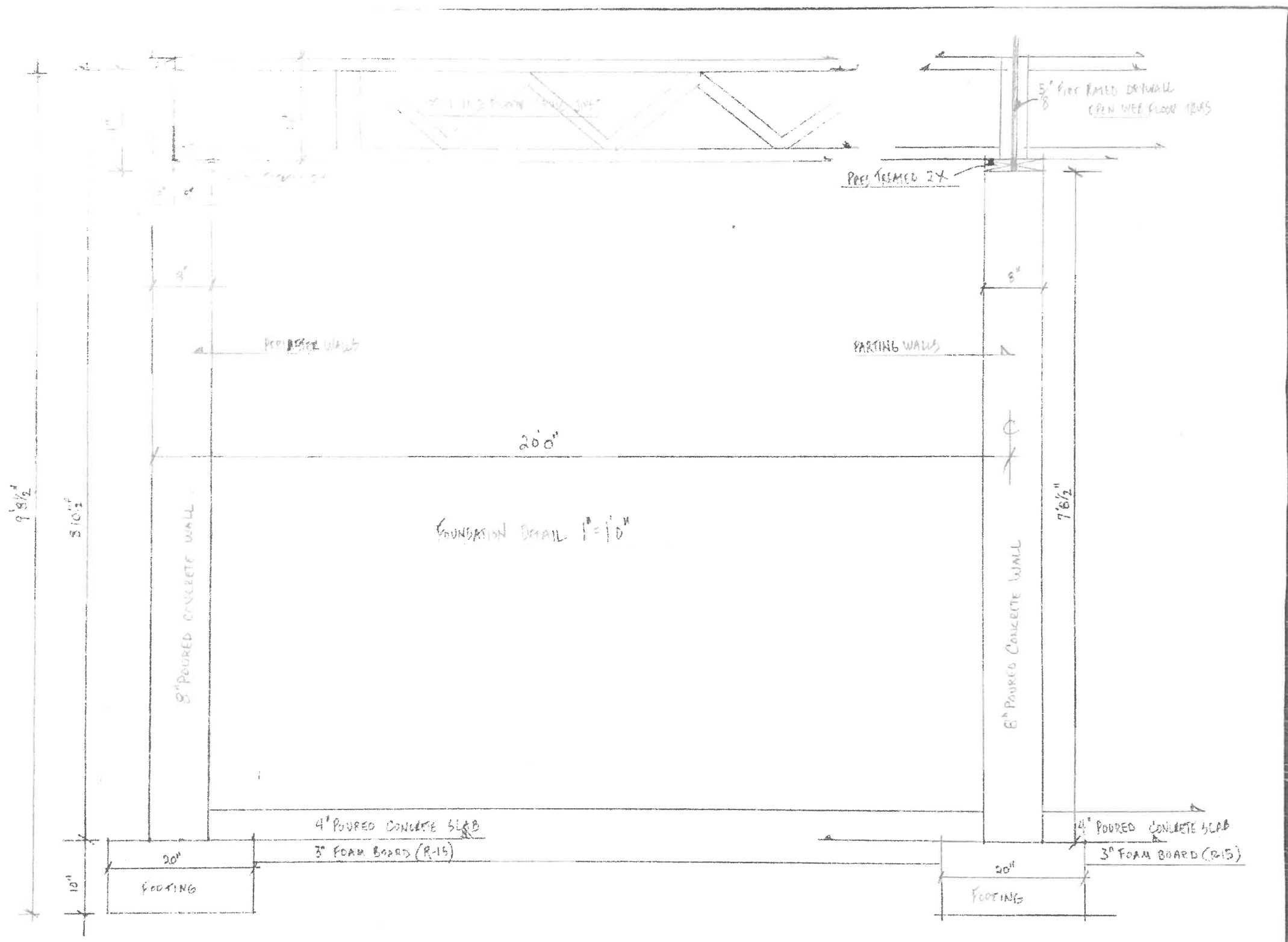


SEAM PROPERTIES
104 5 MAX 48
PR BLDG 3-DIM
15-10"

SEAN PROPERTIES
104 S MAIN ST
PROPOSED 3 UNIT
1/2" = 1'-0"

CONNECTION ELEVATION (North)













SEAM Properties

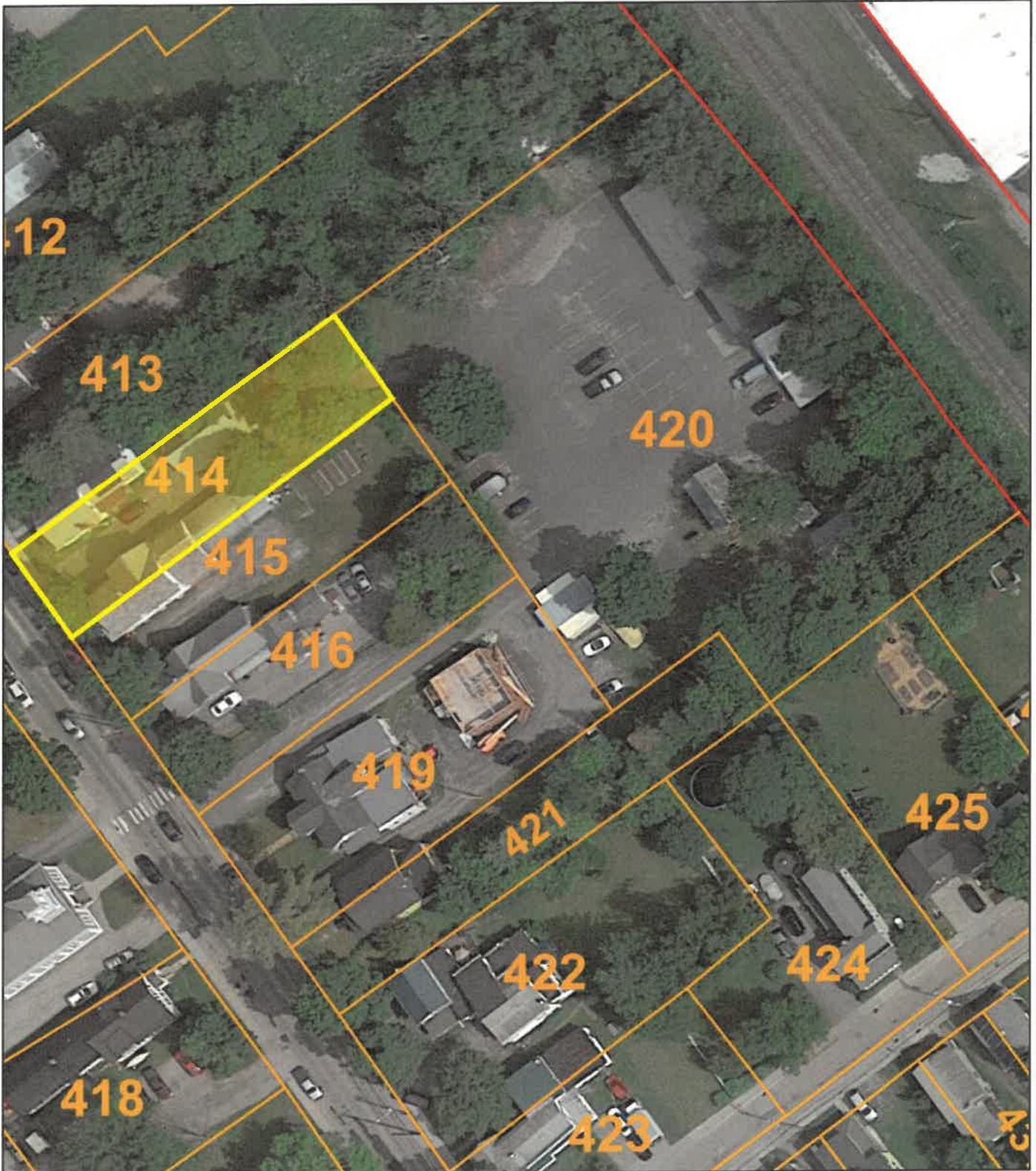
Waterbury, VT

1 inch = 67 Feet

September 22, 2021



EXHIBIT H



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions.

1. Name of Property

Historic name: Waterbury Village Historic District Amendment / Boundary Increase

Other names/site number: N/A

Name of related multiple property listing:

N/A

(Enter "N/A" if property is not part of a multiple property listing)

2. Location

Street & number: North Main St., Union St., Winooski St., Adams Ct., Stowe St., Bidwell Ln., Railroad St., Locust Terr., Swazey Ct., High St., Turner Ct., Hill St., South Main St., Elm St., Parker Ct., Foundry St., Randall St., Park Row, Rotarian Pl., Park St., Moody Ct., State Dr., Warren Ct., Batchelder St., Healy Ct., Demeritt PL., Derby Ln., River Rd.

City or town: Waterbury State: VT County: Washington

Not For Publication:

Vicinity:

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended,

I hereby certify that this X nomination ___ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

In my opinion, the property ___ meets ___ does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance:

___ national X statewide ___ local

Applicable National Register Criteria:

X A ___ B X C ___ D

<p>_____ Signature of certifying official/Title:</p>	<p>_____ Date</p>
<p>_____ State or Federal agency/bureau or Tribal Government</p>	

Waterbury Village Historic District (Amendment
/Boundary Increase)
Name of Property

Washington, VT

County and State

Wood frame, 1 ½ story, eaves front house with vinyl siding and standing seam metal roof. The house has multiple massing and design changes that have significantly altered his historic character.

69. 114/116 South Main Street, duplex, c. 1880. Contributing.

Wood frame, 2 ½ story, gable front, sidehall plan duplex supported on a brick foundation, with clapboard and single siding, and standing seam metal covered roof. A full façade, 2-story porch fronts the well preserved, four-bay building with turned columns resting on shingled half walls – but on the first story sawn on the second. Entrance doors appear in the inner bays, flanked by a pair of windows south, and a single window north, a window pattern repeated on the second floor. Sash are wood 2/2s, protected by triple track storms and capped with simple drip caps.

70. 110/112 South Main Street, house, c.1850. Contributing.

Wood frame, 1 ½ story, eaves front, center hall plan house with vinyl siding and asphalt shingled roof. Unusual house type in variant of classic cottage, the symmetrical facade features a 2-story central bay projection ending in gabled roof. Second story is enclosed and incorporates two 1/1. windows, while ground story is recessed porch sheltering the entrance door flanked by ½ sidelights. Wood corner boards rise to meet a plain frieze under boxed eaves that return on the side gables. A side entrance porch has turned columns and scrolled brackets, a shed roofed ell is appended to the rear elevation.

70A. 1 story, eaves front, 7-bay commercial building, non-contributing due to age.

71. 108 South Main Street, house, c. 1880. Contributing.

Wood frame, 1 ½ story, front-facing T-plan house supported on a brick foundation, with wood shingle siding and ribbed metal covered roof with chimney. A small entrance porch is set in the south façade recess, with turned posts and balustrade, and spindlework valence. Regularly spaced windows are fitted with ½ wood sash protected by triple track aluminum storms. A rear ell with side porch connects the house to an eaves front barn converted to a garage.

72. 106 South Main Street, house, c. 1885. Contributing.

Wood frame, 2 ½ story, front facing L-plan house supported on a brick foundation, with vinyl siding and slate covered roof with ridge chimney. Across the façade is attached a Queen Anne-style porch with elaborately turned columns and balustrade, and spindlework valence with pediment over the stair access. The porch shelters a picture window, and two entrances on the south bay, both with round-arched lights in the doors. Paired windows in the gable, and irregularly spaced windows on the side elevations are fitted with

73. 104 South Main Street, house, c. 1880. Contributing.

Wood frame, 1 ½ story, gable front, sidehall plan house with aluminum siding and asphalt shingled roof. A façade porch with turned columns and balustrade and spindlework valence shelters the end bay entrance and altered, picture window. Eaves with small returns are clad and

Waterbury Village Historic District (Amendment
/Boundary Increase)
Name of Property

Washington, VT

County and State

penetrated on the south elevation by a flush, exterior brick chimney. Windows, two in the front gable, are uniformly vinyl replacements.

73A. 1 ½ story, gable front, clapboarded carriage barn converted to garage, contributing.

74. 102 South Main Street, house, c. 1850. Contributing.

Wood frame, 1 ½ story, gable front, center hall plan house supported on a brick foundation and converted to professional offices. Corner pilasters support eaves returns. The three-bay facade is dominated by altered door enframing consisting of pilasters *en rissault* supporting a cap molding and semi-elliptical fanlight inscribed within the entablature. Broad, 5-paned sidelights frame the door. Windows are 2/2 wood sash with matching wood storms. A rear ell has a side porch of turned components.

75. 100 South Main Street, house, c. 1865. Contributing.

Wood frame, 2 ½ story, gable front, sidehall plan house supported on a brick foundation, with vinyl siding and asphalt shingled roof with chimney. This house was the home of Horace Bruce, entrepreneur in the lumber industry and first Master of the Winooski Lodge. Italianate-style features include closely spaced, scrolled pendant brackets under boxed eaves, and a façade porch supported on chamfered posts with scrolled brackets sheltering a double-doored entrance and wide, altered window. Remaining windows are uniformly vinyl replacements. A 1 story, hip roofed bay window projects from the south elevation. A rear ell connects the house to a contributing, clapboarded carriage barn with 3-panel door, each with 6 lights.

76. 98 South Main Street, house, c. 1891. Contributing.

Wood frame, 2 ½ story, gable front, sidehall plan house with brick walls and slate covered roof. Among the finest residences in the village, the house was built for Martin McIntosh, a blacksmith from New York City who vacationed in Waterbury. Subsequent owners include Dr. E. G. Hooker, Frank Barrett, F.L. Knight, and Y.B. Eldredge of the Waterbury Manufacturing Company. The irregularly-massed building of running bond brick features a slate-sheathed hipped roof, enlivened with gabled sections infilled with scalloped slate, the largest of which faces front and incorporates a Palladian-type window. The south end of the facade terminates in a sexagonal turret that extends above the roof in a slate-sheathed spire crowned with a finial. A 1-story porch with entrance pediment, supported on simple Tuscan columns covers the facade and part of the south elevation. The south elevation has a full height, 3-sided, projecting bay with gabled pediment with turned shaft brackets. 1/1 vinyl sash windows throughout the house and its simple door are set into segmental brick relieving arches. A rear ell connects the house to a large, converted carriage barn with a metal roof in place of the earlier diamond patterned slate.

77. 96 South Main Street, house, c. 1850. Contributing.

Wood frame, 1 ½ story, gable front, sidehall plan house converted to a duplex, supported on a stone foundation, with brick walls and asphalt shingled roof. This Greek Revival-style house,

December 28, 2021

Steve Lotspeich
Community Planner / Zoning Administrator
Town of Waterbury
28 North Main Street Suite #1
Waterbury, VT 05676

RE: SEAM Properties, LLC – 104 So. Main Street
Zoning Permit & Site Plan & Conditional Use Review &
Subdivision Information & Overlay District Information
Supplemental Submittal TCE # 21-125

Dear Mr. Lotspeich:

Trudell Consulting Engineers (TCE) hereby submits this letter and its contents as supplemental to the prior information submitted last week. This is submitted on behalf of SEAM Properties, LLC (SEAM) (the "**Applicant**") for a Zoning Permit, including Site Plan and Conditional Use Review on the property located at 104 South Main Street in Waterbury Village.

After making the submittal last week you indicated we would need to address section 1107, Demolition of Historic Building, noted on page 62 of the *Town and Village of Waterbury Zoning Regulations* (the "**Regulations**") dated May 16, 2016. The barn building proposed to be torn down is an historic building.

The requirements indicates "(1) the structure is determined to be a deterrent to a major improvement that will be a clear and substantial benefit to the municipality," **The removal of this barn will allow for a 3 unit residential apartment which will help add housing which is in critical demand. It will add the housing in a location designated for this use. It will also increase the town revenue of higher property taxes as well as sewer and water revenue, with little impact on the Village.**

(2) The retention of the structure would cause undue financial burden to the owner, or **There is a burden to the owner in that they have to maintain this structure without the benefit of any use or revenue.**

(3) The retention of the structure would create or pose a risk to the health, safety, or welfare of the structure's occupant(s) or the general public. **The barn is at risk of collapse and a danger to the general public. Presently the upstairs has a cable across the trusses to temporarily help secure the barn from collapse. The barn is a very old structure showing significant signs of failure (failure being a complete or partial collapse of the structure).**

I had also offered some trip generation numbers in the original submittal that were a very conservative estimate. My traffic engineer has since given me some more specific information as noted below to replace the numbers I offered.

For a 3-unit residential apartment use ITE Land Use Code 220 – Multifamily Housing (Low Rise)

Weekday- 22 Trips; 11 enter, 11 exit

AM Peak- 2 trips; 0 enter, 2 exit

PM Peak- 3 trips; 2 enter, 1 exit

If you have any questions or need additional information, please do not hesitate to contact me directly at (802) 879-6331 x101 or by email at john.pitrowiski@tcevt.com.

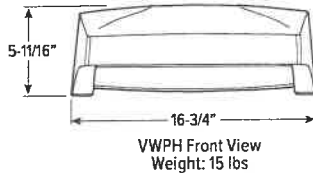
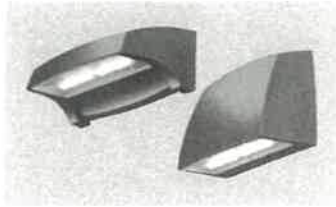
Sincerely,



John Pitrowiski, PE
Trudell Consulting Engineers



VWP^{LED} Voltaire Architectural Wall Pack



CATALOG #:

TYPE:

PROJECT:

FEATURES

- Designed to illuminate sidewalks, entryways, perimeters or facades
- Intended for use in both uplight and downlight applications
- Savings of up to 80% energy compared to HID systems
- Blends seamlessly with a variety of architectural styles
- Made Right Here[®] in the USA

SPECIFICATIONS

- HOUSING – Die-cast aluminum enclosure.
- THERMAL MANAGEMENT – Integral die-cast aluminum heatsink and LED assembly provide passive thermal management. Rated -30°C to 40°C ambient operating temperature (-20°C to 40°C with EM/10WC; 0°C to 39°C with EM/4W).
- OPTICAL SYSTEM – Precision, injection-molded, refractive acrylic lensing produces standard IES distributions.
- LED ASSEMBLY – ANSI 3000K, 4000K, or 5000K CCT, minimum 70 CRI LEDs.
- LED DRIVER – 0-10V dimming.
- ELECTRICAL – 120-277, 347, and 480 VAC input range; 50-60Hz; power factor >.90; THD <20% at full load. FCC Class A compliant. 10kA/10kV surge protection standard. Quick-disconnect wiring provided. L70 >50,000 hours per IES TM-21.
- FINISH – Super durable polyester powder coat bonded to phosphate-free, multi-stage pretreated metal, meets and exceeds AAMA 2604 specifications for outdoor durability.
- MOUNTING – Surface mounts directly over a 4" maximum outlet box. Must be anchored to adequate structure that can safely support fixture weight (VWPH = 15 lbs, VWPV = 23 Lbs).
- LISTINGS –
 - cCSAus certified as luminaire suitable for wet locations.
 - DesignLights Consortium qualified product. Not all versions of this product may be DLC qualified, see the DLC Qualified Products List at www.designlights.org/QPL.
 - IDA Dark-Sky approved (downlight applications only).
 - RoHS compliant.
 - IP65 rated.
 - Title 24 compliant with OCCWS FSP-211-L_ option.
- WARRANTY – 5-year limited warranty, see hew.com/warranty.

ORDERING EXAMPLE: VWP H - L30/740 - T3 - DBZ - SDGL - OPTIONS - DIM - UNV

ORDERING INFO

SERIES	TYPE	LUMENS ^[1]	CRI	CCT	DISTRIBUTION ^[2]
VWP	H Horizontal	L30 3,000lm	7 70	30 3000K	T3 Type III
	V Vertical	L60 6,000lm		40 4000K	TFT Type forward throw
				50 5000K	

FINISH OPTIONS ^[3]

- BLK Black (RAL #9004)
- DBZ Dark bronze
- DBR Medium bronze
- GRAY Standard gray
- SLV Satin aluminum (RAL #9006)
- WHT White (RAL #9003)

SHIELDING

- SDGL Micro-prismatic tempered glass lens
- CGL Clear tempered glass lens

OPTIONS

- EM/4W 4-watt integral emergency LED driver^[4]
- SF Single fuse^[5]
- DF Double fuse^[6]
- PC Factory-installed button-style photocell^[7]
- HSGX Empty housing extension used to match units with EM, OCC, or conduit entry options.

DRIVER

- DIM Dimming driver prewired for 0-10V controls

VOLTAGE

- 120 120V
- 208 208V
- 240 240V
- 277 277V
- UNV 120-277V
- 347 347V^[13]
- 480 480V^[14]

CONDUIT ENTRY ^[8]

- CR Right side conduit entry^[9]
- CL Left side conduit entry^[10]
- CD Dual conduit entry

VWPH ONLY

- EM/10WC 10-watt emergency LED driver^[11]
- OCCWS FSP-211-L_ Factory-installed occupancy sensor^[12]
- FSIR-100 Remote controller for occupancy sensor

NOTES

- ¹ Lumen output based on 3500 CCT. Actual lumens may vary +/-5%, see page 2 for FIXTURE PERFORMANCE DATA. Additional lumen package available, see options
- ² See page 2 for DISTRIBUTION DETAILS.
- ³ See page 3 for FINISH OPTIONS.
- ⁴ 120-277V only; VWPV includes housing extension, increases fixture depth. See page 2 for FIXTURE DETAILS.
- ⁵ 120V, 277V, or 347V only; must specify voltage
- ⁶ 208V, 240V, or 480V only; must specify voltage
- ⁷ 120V, 208V, or 277V only; must specify voltage. Not available when specified with OCCWS option. See page 3 for OPTIONS DETAILS. Right side when viewed from behind fixture.
- ⁸ Fixtures require housing extension when specified with conduit entry. Increases fixture depth. Conduit entry provided with 1/2" NPT tapered pipe thread and plug. Increases fixture height. Conduit fitting to be supplied by others. Left and right when viewed from behind fixture.
- ⁹ Left and right when viewed from behind fixture.
- ¹⁰ Left and right when viewed from behind fixture.
- ¹¹ Low temperature, includes housing extension. Increases fixture depth; 120-277V only; not available with CR and CD options. See page 2 for FIXTURE DETAILS.
- ¹² Includes housing extension (increases fixture depth), must specify lens. Optional FSIR-100 remote controller available, ordered separately. See page 3 for OCCUPANCY SENSOR DETAILS.
- ¹³ Includes stepdown transformer
- ¹⁴ Includes stepdown transformer



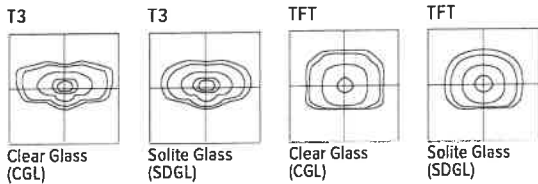
VWP^{LED} Voltaire Architectural Wall Pack

FIXTURE PERFORMANCE DATA

LED PACKAGE	DISTRIBUTION	WATTAGE	CCT	CLEAR GLASS (CGL)		SOLITE GLASS (SDGL)		BUG RATINGS	
				DELIVERED LUMENS	EFFICACY (lm/W)	DELIVERED LUMENS	EFFICACY (lm/W)		
VWPH	L30	36	T3	3000	3174	88.2	2963	82.3	B1-U0-G1
				4000	3327	92.4	3106	86.3	
				5000	3438	95.5	3209	89.1	
				3000	2713	75.4	2533	70.4	
				4000	2844	79.0	2655	73.8	
	L60	70	TFT	4000	2939	81.6	2743	76.2	B1-U0-G1
				5000	2939	81.6	2743	76.2	
				3000	5933	84.8	5887	84.1	
				4000	6611	94.4	6172	88.2	
				5000	6831	97.6	6376	91.1	
VWPV	L30	36	T3	3000	5470	78.1	5065	72.4	B2-U0-G1
				4000	5688	81.3	5309	75.8	
				5000	5876	83.9	5486	78.4	
				3000	3115	86.5	2908	80.8	
				4000	3403	94.5	3177	88.3	
	L60	70	TFT	5000	3385	94.0	3160	87.8	B1-U0-G1
				3000	2840	78.9	2651	73.6	
				4000	3103	86.2	2896	80.4	
				5000	3086	85.7	2881	80.0	
				3000	6171	88.2	5813	83.0	
L30	36	T3	4000	6804	97.2	6351	90.7	B2-U0-G2	
			5000	6767	96.7	6317	90.2		
			3000	5822	83.2	5126	73.2		
			4000	5999	85.7	5600	80.0		
			5000	5967	85.2	5570	79.6		

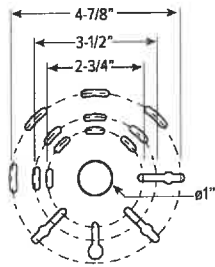
- Photometrics tested in accordance with IESNA LM-79. Results shown are based on 25°C ambient temperature.
- Wattage shown is average for 120V through 277 input.

DISTRIBUTION DETAILS



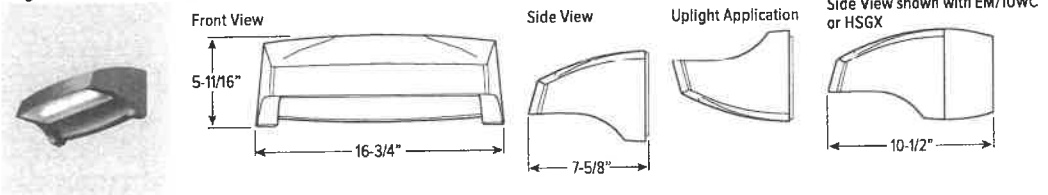
FIXTURE DETAILS

BOLT PATTERN DETAIL



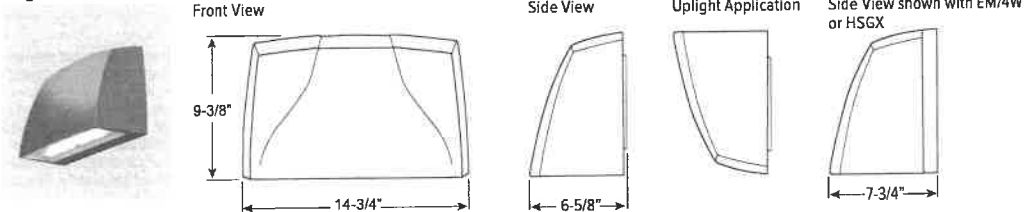
VWPH

Weight: 15 lbs; maximum weight with EM/10WC or HSGX: 27 lbs.



VWPV

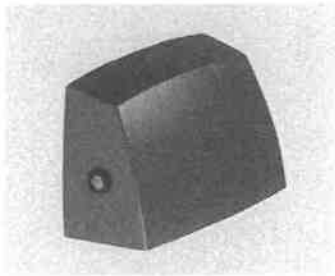
Weight: 23 Lbs



VWP^{LED} Voltaire Architectural Wall Pack

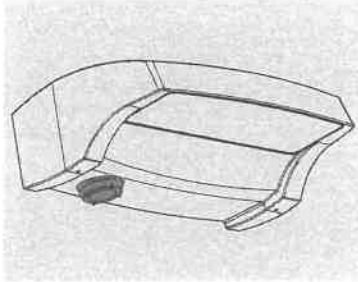
OPTIONS DETAILS

PC OPTION



Factory-installed button-style photocell, right side when viewed from behind fixture. (120V, 208V, or 277V only; must specify voltage)

OCCUPANCY SENSOR DETAILS



EXAMPLE: OCCWS FSP-211-L2

FEATURES

- Fully adjustable high and low dimmed light levels.
- Designed for LED fixtures; rated for extreme temperatures and up to 200,000 on/off cycles.
- Hold-off setpoint with automatic calibration option for convenience and added energy savings.
- Adjustable via handheld wireless configuration tool (ordered separately).
- IP66 rated with choice of lenses for wet and outdoor locations, and mounting heights from 8' to 20'.
- Adjustable time delay and cutoff delay.
- Factory set to 10% dimming at 5 minutes, cutoff at 1 hour.

ORDERING INFORMATION

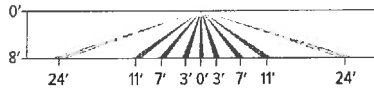
OCCWS FSP-211__ Factory-installed occupancy sensor, must specify lens (120V or 277V only)

LENS

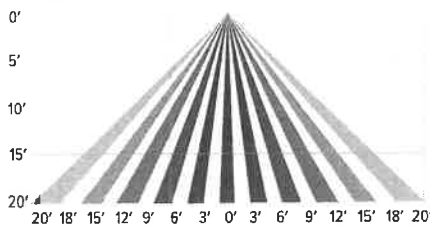
- L2 Coverage at 8' mounting height: ø48'
- L3 Coverage at 20' mounting height: ø40'

COVERAGE PATTERNS

L2 LENS



L3 LENS



REMOTE CONTROLLER



FSIR-100 Remote controller for occupancy sensor (specify quantity per project)

Initial setup and subsequent sensor adjustments are made using a handheld configuration tool (FSIR-100). The wireless tool stores up to five sensor parameter profiles to speed configuration of multiple sensors. Please specify quantity required per project. Visit wattstopper.com for more information.

FINISH OPTIONS

WHITE

BLACK

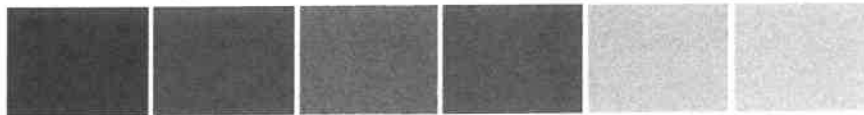
GREEN

MEDIUM BRONZE

DARK BRONZE

SILVER

GRAY



For custom color, please specify RAL code or a manufacturer code with description. All custom colors other than RAL require two sample swatches, minimum 1" square.



Steve Lotspeich

From: John Pitrowiski, P.E. <John.Pitrowiski@tcevt.com>
Sent: Tuesday, January 25, 2022 10:18 PM
To: Steve Lotspeich
Cc: Em Lamson; Lamson, Scott E; tou101@comcast.net
Subject: RE: 21-125 SEAM Properties, LLC at 104 South Main Street Application #116-21
Attachments: 21-125 Plat.pdf; 244 FRAME WALL_Optimized.pdf; B - HEW Voltaire Wall Pack - Vertical_Optimized.pdf; C - HEW Voltaire Mini Wall Pack - Vertical_Optimized.pdf; C2-02 Site Plan.pdf; C8-01 Details.pdf; C8-02 Miscellaneous Details.pdf; C1-01 EC.pdf; C2-01 Master Site Plan.pdf

I see the file was large and may not have got to Steve so I optimized a few of the documents and am re-sending. Steve – please confirm you got this ok. Thanks

From: John Pitrowiski, P.E.
Sent: Tuesday, January 25, 2022 10:06 PM
To: Steve Lotspeich <slotspeich@waterburyvt.com>
Cc: Em Lamson <smlamson4@gmail.com>; Lamson, Scott E <scotte.lamson@honeywell.com>; tou101@comcast.net
Subject: 21-125 SEAM Properties, LLC at 104 South Main Street Application #116-21

Hi Steve

I am pleased, on behalf of Scott and Mary Ellen Lamson of SEAM Properties, LLC, to submit a revised Site Plan Package, Architectural Drawings and Lighting cut sheets. I submitted the complete site plan package, but we did not make any changes to the Existing Conditions Plan, sheet C1-01 or the Survey Plat. We did make some minor changes to the Master Site Plan (previously called Site Plan), sheet C2-01 and added an enlarged view of the building area with our new Site Plan, C2-02. The new Site Plan was done at 1" = 5' which provides the detail the DRB was looking for. We added some construction details which required a second detail sheet. So now the package includes two details sheets, C8-01 and C8-02.

The attached Site Plan Package and Architectural drawings address the comments we received at the last hearing and I will go over them in detail at our next meeting. Noted below is a brief outline of some of the changes that were made.

1. The Architectural drawings include windows on each end of the proposed building, when previously there were none.
2. The 1 foot overhang is shown on the Site Plan along with the door entrance way and setback to the property line (from the nearest portion of the building).
3. The Architectural drawings show the entrances.
4. I added an optional bulkhead at each end of the building should the owners decide access to the basement is needed.
5. I added a few shade trees along the property line near the parking lot.
6. I show the light locations on the buildings. Only 5 lights are shown. One at each of the three doors and one at each end of the building.
7. The roof has been changed to a shingle roof so that gutters can be added to collect the roof stormwater runoff.
8. The Site Plan shows the walkway, grades and drainage.
9. I added a parking space between the existing and proposed building.
10. The applicants have decided not to have a dumpster and none is shown.
11. The Site Plan shows the location of the breezeway.

The applicants are very hopeful to bring the permitting process to conclusion on February 2nd. If you have any concerns or think you need any additional information or questions answered please let me know and we will make every effort to do that before the hearing.

If you want I can run a full size set of the attached along with an 11 by 17 set and drop them off to you later this week. Would you like me to do that?



John Pitrowiski, P.E.
Vice President, Principal Engineer

e. John.Pitrowiski@tcevt.com

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