

EXHIBIT A1

TOWN OF WATERBURY ZONING PERMIT APPLICATION

Date:	<u>12/22/2021</u>	Application #:	<u>116-21</u>
Fees Paid:	<u>\$800</u>	+ \$15 recording fee =	<u>\$840</u>
Parcel ID #:	<u>916-0104.V</u>		
Tax Map #:	<u>19-414.000</u>		

Please provide all of the information requested in this application. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process of this application. Based upon the nature of the project you may need to submit additional information. For instructions on how to fill out this form please refer to the *Zoning Permit Application Instructions & Fee Schedule* available on the municipal website or at the municipal offices. Submit one copy of the completed application and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process, please contact the Zoning Administrator at 802-244-1018.

CONTACT INFORMATION

APPLICANT

Name: SEAM Properties, LLC
 Mailing Address: 40 Scott Lamson
PO Box 694, Waterbury, VT 05676
 Home Phone: (802) 318-0358
 Work/Cell Phone: (802) 318-0358
 Email: scotte.lamson@honeywell.com

PROPERTY OWNER (if different from Applicant)

Name: Same as applicant
 Mailing Address: _____
 Home Phone: _____
 Work/Cell Phone: _____
 Email: _____

PROJECT DESCRIPTION

Physical location of project (E911 address): 104 South Main St.
Waterbury, VT 05676
 Lot size: .22 Ac Zoning District: Village Mixed Res. (VMR)
 Existing Use: Apt. & Office Proposed Use: Existing + 3 unit apt.
 Brief description of project: The project is a boundary line adjustment (to make 104.46 Ac.) and a proposed 3 unit apartment building to replace an existing barn at 104 So. Main St.

Cost of project: \$ 200,000 Estimated start date: May 2022
 Water system: Municipal Waste water system: Municipal

EXISTING Apt & Office
 Square footage: 1080 Height: 30'±
excludes porches
 Number of bedrooms/baths: 3/3
 # of parking spaces: 4
 Setbacks: front: 14' to porch
 sides: 5' / 20' rear: 114'
see plans

PROPOSED 3 Unit Apt. to Replace
Barn
 Square footage: 1800 Height: 26'±
 Number of bedrooms/bath: 6/2/6
 # of parking spaces: 8
 Setbacks: front: 91'
 sides: 5' / 12' rear: 81'

CHECK ALL THAT APPLY:

NEW CONSTRUCTION

- Single-Family Dwelling
- Two-Family Dwelling
- Multi-Family Dwelling
- Commercial / Industrial Building
- Residential Building Addition
- Comm./ Industrial Building Addition
- Accessory Structure (garage, shed)
- Accessory Apartment
- Porch / Deck / Fence / Pool / Ramp
- Development in SFHA (including repairs and renovation)
- Other _____

USE

- Establish new use
- Change existing use
- Expand existing use
- Establish home occupation

OTHER

- Subdivision (# of Lots: _____)
- Boundary Line Adjustment (BLA)
- Planned Unit Development (PUD)
- Parking Lot
- Soil/sand/gravel/mineral extraction
- Other _____

ADDITIONAL MUNICIPAL PERMITS REQUIRED:

- Curb Cut / Access permit
- E911 Address Request
- Water & Sewer Allocation
- none of the above

[Additional State Permits may also be required]

SKETCH PLAN Please include a sketch of your project, drawn to scale, with all required measurements - see *Zoning Permit Application Instructions*. You may use the space below or attach separate sheets. For plans larger than 11"x17" please provide a digital copy (pdf. file format) in addition to a paper copy.

EXHIBIT A2

Refer to Design Plans

SIGNATURES The undersigned hereby applies for a Zoning Permit for the use described in this application to be issued on the basis of the representations made herein all of which the applicant swears to be complete and true.

X Scott E. Lane
Applicant Signature

X 12/7/2021
date

X Mary Ellen Roman
Property Owner Signature

X 12/7/2021
date

CONTACT Zoning Administrator Phone: (802) 244-1018
Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Suite 1, Waterbury, VT 05676
Municipal Website: www.waterburyvt.com

OFFICE USE ONLY

Zoning District/Overlay: _____

Review type: Administrative DRB Public Warning Required: Yes No

DRB Referral Issued (effective 15-days later): _____

DRB Mtg Date: _____ Decision Date: _____

Date Permit issued (effective 16-days later): _____

Final Plat due (for Subdivision only): _____

Remarks & Conditions: _____

Authorized signature: _____ Date: _____

REVIEW/APPLICATIONS:

Conditional Use Waiver

Site Plan

Variance

Subdivision:

Subdv. BLA PUD

Overlay:

DDR SFHA RHS CMP

Sign

Other _____

n/a

Date: _____	Application #: _____
Fees Paid: _____	(\$15 recording fee already paid)
Parcel ID #: _____	
Tax Map #: _____	

**TOWN OF WATERBURY
SITE PLAN REVIEW INFORMATION**

This Site Plan Review information sheet supplements the Zoning Permit Application. Please provide all of the information requested on both forms. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process. Submit one copy of the completed forms and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process please contact the Zoning Administrator at 802-244-1018.

PROJECT DESCRIPTION

Brief description of project: The project is a boundary line adjustment (to make 104 .46Ac) and a proposed 3 unit apartment building to replace an existing barn at 104 So. Main St.

SITE PLAN REVIEW CRITERIA

Please utilize the check list to ensure your proposal addresses each relevant Site Plan Review criteria:

- Adequacy of traffic access
- Adequacy of circulation and parking
- Adequacy of landscaping and screening (including exterior lighting)
- Requirements for the Route 100 Zoning District
- Special considerations for projects bordering Route 2, Route 100, or Interstate 89

SITE PLAN SUBMISSION REQUIREMENTS

Before an application for site plan review is considered complete, the applicant shall file a site plan, clearly drawn to the largest practical scale, showing the following:

- Location and dimensions of lot lines, names of adjacent landowners, all easements, utilities, and existing and proposed structures.
- All access to public streets or roads, parking and service areas, pedestrian walkways, curbs and stormwater drainage.
- Pedestrian and vehicular circulation, including parking lot layout, entrances to structures, signs, and lighting.
- Building elevations and footprints.
- Detailed site grading and landscaping, indicating existing and proposed trees, shrubs, and ground cover.
- Two copies of all plans.
- For plans larger than 11"x17" please submit a digital plan set in addition to the paper copy (pdf. file format).

CONTACT Zoning Administrator Phone: (802) 244-1018
 Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Suite 1, Waterbury, VT 05676
 Municipal Website: www.waterburyvt.com

Date: _____	Application #: _____
Fees Paid: _____	(\$15 recording fee already paid)
Parcel ID #: _____	
Tax Map #: _____	

**TOWN OF WATERBURY
CONDITIONAL USE INFORMATION**

This Conditional Use (and Setback Waiver) information sheet supplements the Zoning Permit application. Please provide all of the information requested on each form. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process. Submit one copy of the completed forms and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process, please contact the Zoning Administrator at 802-244-1018.

PROJECT DESCRIPTION

Brief description of project: The project is a boundary line adjustment (to make 104 .46 acres) and a proposed 3 unit apartment building to replace an existing barn at 104 So. Main St.

CONDITIONAL USE CRITERIA

Please respond to the following; you may answer on a separate sheet and attach additional pages and supporting materials:

1. Describe how the proposed use will not have an undue adverse impact on the capacity of existing or planned community facilities to accommodate it (including roads and highways , municipal water or sewer systems, school system , fire protection services):
Refer to attached letter
2. Describe how the proposed use will not have an undue adverse impact on the character of the area affected as defined by the Municipal Plan and the zoning district in which the proposed project is located:
"
3. Describe how the proposed use will not violate any municipal bylaws and ordinances in effect:
"
4. Describe any devices or methods to prevent or control fumes, gas, dust, smoke, odor, noise, or vibration:
"
5. For removal of earth or mineral products which is not incidental to a construction, landscaping, or agricultural operation, a removal project must meet specific conditions outlined within Section 302 of the Waterbury Zoning Regulations. Are the conditions included within the Application Submittals?
"

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Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Waterbury, VT 05676
Municipal Website: www.waterburyvt.com

Date: _____	Application #: _____
Fees Paid: _____ (\$15 recording fee already paid)	
Parcel ID #: _____	
Tax Map #: _____	

TOWN OF WATERBURY OVERLAY DISTRICT INFORMATION

This Overlay District information sheet supplements the Zoning Permit Application. Please provide all of the information requested on both forms. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process. Submit one copy of the completed forms and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process please contact the Zoning Administrator at 244-1018.

PROJECT DESCRIPTION

Brief description of project: The project is a boundary line adjustment (to make 104.46Ac.) and a proposed 3 unit apartment building to replace an existing barn at 104 So. Main St.

Fill out only the relevant section(s) & utilize the following checklists to ensure your plans include all the required information.

DOWNTOWN DESIGN REVIEW OVERLAY DISTRICT (DDR)

DESIGN STANDARDS:

For Historic Structures (applying to all structures listed on the National Register of Historic Places):

- Original materials or materials typical of the architectural style are preserved or replaced with like materials to the extent feasible and appropriate.
- Historic building features shall be preserved or replicated to the extent feasible and appropriate.

For projects within the Historic/Commercial Sub-District:

- New building designs shall reinforce historic streetscape patterns, including orientation and setbacks.
- New buildings shall maintain overall height, size, massing, scale, and proportions compatible with those of buildings in the vicinity.
- New additions are designed to complement and be compatible with the original structure.
- Project design reinforces a pedestrian streetscape.
- On-site utilities shall be buried and utility boxes are screened from public view if the utilities along the street serving that structure are also buried.
- Buildings, or portions thereof, having eaves heights of 20-foot or less above ground level incorporate moderately to steeply pitched roofs, unless the another roof type is appropriate.

For projects within the Mixed-Use Sub-District:

- Building sites, including road and pedestrian networks, are designed in a manner that is integrated and compatible with adjoining parcels and areas.
- A proposed project located next to or facing a historic structure incorporates similar or complementary building features.
- New buildings are oriented to front upon, and relate both functionally and visually to, primary access roads.
- On-site parking is situated to the rear or on the sides of structures, where feasible and appropriate.
- The primary facades of principal structures are clearly defined through the placement of one or more prominent entryways, pedestrian walkways, or landscaping features.
- Building facades and rooflines are designed so as to reduce the perceived mass, scale, and uniform impersonal appearance of large buildings and additions, and to provide visual interest.
- Clearly defined pedestrian walkways are provided through parking areas, between buildings, and from public sidewalks to the site.

SUBMISSION REQUIREMENTS:

- All information required under Site Plan (see Site Plan Application)
- Proposed architectural elevations (for each exterior wall) showing door and window types and placement, and other exterior details
- A description of all materials to be used on the exterior of building
- Photos of the existing building(s) on the site and adjacent and facing parcels
- For demolition of a structure listed on the National Register of Historic Places see additional requirements within the Regulations.

RIDGELINE, HILLSIDE, STEEP SLOPE OVERLAY DISTRICT (RHS)

REVIEW STANDARDS:

- For both Minor & Major Development Projects see Conditional Use Criteria
- For Major Development Projects:
 - Screening
 - Access
 - Placement of Structures
 - Exterior Lighting
 - Clearcutting and Pre-Development Site Preparation
 - Natural Resources
 - Building Design

SUBMISSION REQUIREMENTS :

- Minor Development Projects (1,200—1,499 FIE)
 - All information required under Site Plan Review (see Site Plan Review Application)
 - Completed Conditional Use Application
- Major Development Projects (1,500 & up FIE)
 - All information required under Site Plan Review (see Site Plan Review Application)
 - Completed Conditional Use Application
 - Grading Plan
 - Visibility Studies
 - Stormwater Drainage/Erosion Control Plan
 - Landscape Plan
 - Access Plan Natural Features

SPECIAL FLOOD HAZARD AREA OVERLAY DISTRICT (SFHA)

DESIGN STANDARDS:

- All development is reasonably safe from flooding All fuel storage tanks are either elevated or floodproofed.
- All substantial improvements and new construction (including fuel storage tanks) meet the following criteria:
 - Designed, operated, maintained, modified and adequately anchored to prevent flotation, collapse, release, or lateral movement of the structure
 - Constructed with materials resistant to flood damage
 - Constructed by methods and practices that minimize flood damage
 - Constructed with electrical, heating, ventilation, plumbing and air-conditioning equipment and other service facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding
 - All new subdivisions and other proposed developments that are greater than 50 lots or 5 acres, whichever is the lesser shall include within such proposal base flood elevation data. See Regulations for additional subdivision standards.
 - The fully enclosed areas below the lowest floor that are useable solely for parking of vehicles, building access, or storage in an area other than a basement are designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters.
 - A non-residential, appurtenant structure of 500 sf or less need not be elevated to or above the base flood elevation in this area, provided the structure is placed on the building site so as to offer the minimum resistance to the flow of floodwaters
 - In Zones AE, A, and A1 – A30 where base flood elevations and/or floodway limits have not been determined, new construction and substantial improvement shall not be permitted unless it is demonstrates additional standards (see Regulations)
 - All new construction and substantial improvements of residential structures within Zones A1-30, and AE must have the lowest floor of all residential structures (including basement) elevated to at least one foot above the base flood level.
 - All manufactured homes are installed using methods and practices which minimize flood damage. Manufactured homes must be elevated on a permanent foundation such that the lowest floor of the manufactured home is at least one foot above base flood elevation, and they must be anchored to an adequately anchored foundation to resist flotation collapse, or lateral movement.
 - All new construction and substantial improvements of non-residential structures within Zones A1-30, and AE shall:
 - Have the lowest floor (including basement) elevated to at least two feet above the base flood level; or
 - Be designed so that below the base flood level the structure is water tight with walls substantially impermeable to the passage of water with structural components having the capability of resisting hydrostatic and hydrodynamic loads and

effects of buoyancy to a point at least two feet above the base flood level.

- Where a non-residential structure is intended to be made watertight below the base flood level a registered professional engineer or architect shall develop and/or review structural design
- professional engineer or architect shall develop and/or review structural design
- ___ Adequate drainage paths shall be required around structures on slopes to guide floodwaters around and away from proposed structures.
- ___ The flood carrying and sediment transport capacity within the altered or relocated portion of any watercourse shall be maintained, and any alteration or relocation shall not result in any decrease of stream stability.
- ___ Bridge and culverts, which by their nature must be placed in or over the stream, must obtain a stream alteration permit from the Agency of Natural Resources, if required.

SUBMISSION REQUIREMENTS:

- Plans in triplicate, drawn to scale, showing the location, dimensions, contours, and elevation of the lot; the size and location on the site of existing or proposed structures, fill or storage of materials; the location and elevations of streets, water supply, and sanitary facilities; and the relation of the above to the location of the channel, floodway, and base flood elevation
- Specifications for building construction and materials, floodproofing, mining, dredging, filling, grading, paving, excavation, or drilling, channel improvement, storage of materials, water supply, and sanitary facilities
- Base flood elevation data for all subdivisions, new construction, and substantial improvements
- The elevation, in relation to mean sea level, of the lowest floor, including basement, of all new construction or substantial improvement of structures
- Where floodproofing is used in lieu of elevation, the elevation, in relation to mean sea level, to which any structure or substantial improvement will be floodproofed
- Where an application requires Board review the application shall include certification by a registered professional engineer or architect demonstrating that the proposed development will not increase base flood elevations more than 0.25 foot
- Certification by a registered professional engineer or architect demonstrating compliance with the elevation requirements
- A description of the extent to which any watercourse will be altered or relocated as a result of the proposed development
- A Vermont Agency of Natural Resources Project Review Sheet for the proposal
- Proposed floodproofing must be supported by a FEMA Floodproofing Certificate

CERTIFICATE OF COMPLETION: Upon completing the project the Applicant must apply for and receive a Certificate of Completion to ensure the project conforms to the Special Flood Hazard Area Regulations. See Certificate of Completion Application for additional information.

CONTACT Zoning Administrator Phone: (802) 244-1018
 Mailing address: Waterbury Municipal Offices, 28 North Main Street, Suite 1, Waterbury, VT 05676
 Municipal Website: www.waterburyvt.com

EXHIBIT A8

Date: _____	Application #: _____
Fees Paid: _____	+\$25 Plat (\$15 recording fee already paid)
Parcel ID #: _____	
Tax Map #: _____	

TOWN OF WATERBURY SUBDIVISION INFORMATION (BLA & PUD)

This Subdivision/Boundary-Line Adjustment/Planned-Unit Development information sheet supplements the Zoning Permit Application. Please provide all of the information requested on both forms. Read the Zoning Regulations and familiarize yourself with the requirements. Failure to provide all the required information will delay the process. Submit one copy of the completed forms and a check payable to the *Town of Waterbury* according to the zoning fee schedule. For questions about the permit process please contact the Zoning Administrator at 802-244-1018.

PROJECT DESCRIPTION

Brief description of project: The project is a boundary line adjustment (to make 104 .46 acres) and a proposed 3 unit apartment building to replace an existing barn at 104 So. Main St.

SUBDIVISION & BOUNDARY LINE ADJUSTMENT (BLA) CHECKLIST

Please utilize the following check list to ensure your application contains all the required information.

Check one (A1, A2, B1, or B2):

- A1) Boundary Line Adjustment which affects fewer than five (5) lots
- A2) Subdivision of land into fewer than four (4) lots, including the original parcel and not located within the RT 100 Zoning District or the Ridgeline/Hillside/ Steep Slope Overlay District

REVIEW CRITERIA for A projects

- Relevant criteria in Section 401, Dimensional Requirements
- Section 504, General Dimension, Location, and Height Requirements

- B1) Boundary Line Adjustment which affects five (5) or more lots
- B2) Division of land into four (4) lots or more, including the original parcel and/or located within the RT 100 Zoning District or the Ridgeline/Hillside/ Steep Slope (RHS) Overlay District

REVIEW CRITERIA for B projects (See Section 1202 review criteria)

- Relevant criteria in Section 401, Dimensional Requirements
- Section 504, General Dimension, Location, and Height Requirements
- Will not have undue adverse impact on existing or planned municipal facilities
- Will not have undue adverse impact on the character of the area
- Will not have undue adverse impact on water quality or impacts to soil
- Will not have undue adverse impact on scenic resources or historic sites
- Will not have undue adverse impact on significant natural resources
- For the division of land in the RT 100 Zoning District see Section 1202(b) for additional criteria
- For the division of land in the RHS Overlay District see Section 1202(c) for additional criteria

SUBMISSION REQUIREMENTS (for both A and B projects)

Draft plat / site plan map, of sufficient scale, showing the following:

- Existing and proposed parcel boundaries
- Existing and proposed parcel acreages
- Existing and proposed structures and setbacks
- Existing and proposed easements (incl. but not limited to right-of-ways, power, water + sewer, other utilities)

PLANNED UNIT DEVELOPMENT CHECKLIST (PUD)

Please utilize the following check list to ensure your application contains all the required information.

SUBMISSION REQUIREMENTS

A) **SITE PLAN:** Submit one or more site plan maps, of sufficient scale, showing the following:

- The name and address of the person or firm preparing the map, the scale, and the north arrow
- The boundaries of the property, and adjacent land uses and property owners
- Existing features, including contours, bodies of water, floodplains, wetlands, aquifer protection areas, existing vegetation, significant wildlife habitat, existing land uses, structures, historic structures, streets, utilities, easements, and deed restrictions
- The locations of proposed structures, building lots, land uses, streets, driveways, parking and loading spaces, pedestrian walkways, utility lines, lighting, water supply sources, and sewage disposal areas
- The location and features of proposed undeveloped land
- Landscaping plans, screening, proposed site grading, and incorporation of existing vegetation and features
- Submit 2 copies, if the plan(s) are larger than 11"x17" also provide a digital copy in pdf. file format.

B) **NARRATIVE DESCRIPTION & SUPPORTING INFORMATION:**

___ A statement describing the character and proposed uses of the undeveloped land, including the nature of proposed public uses.

___ A statement on the impact of the development on public roads and other public infrastructure such as schools, sewer systems, or public water systems, if appropriate.

___ Articles of association, bylaws, or declarations of condominium that relate to provisions for undeveloped land, design controls, land use restrictions, recreation, parking areas, or other facilities used, owned, or maintained in common.

___ A description of how the project meets each of the standards in Section 705, including justification for any density bonuses that are requested.

___ PUDs that include nonresidential uses or structures must also apply for site plan approval for the nonresidential portions of the project. Please include a Site Plan Application.

___ PUDs that included uses that are conditional in the district for which they are proposed must also apply for and obtain conditional use approval for those uses. Please include a Conditional Use Application.

Submit 2 paper copies and a digital copy in pdf. file format.

Refer to attached letter

CONTACT Zoning Administrator Phone: (802) 244-1018
Mailing Address: Waterbury Municipal Offices, 28 North Main Street, Suite 1, Waterbury, VT 05676
Municipal Website: www.waterburyvt.com

December 22, 2021

Steve Lotspeich
Community Planner / Zoning Administrator
Town of Waterbury
28 North Main Street Suite #1
Waterbury, VT 05676

RE: SEAM Properties, LLC – 104 So. Main Street
Zoning Permit & Site Plan & Conditional Use Review &
Subdivision Information & Overlay District Information
TCE # 21-125

Dear Mr. Lotspeich:

Trudell Consulting Engineers (TCE) hereby submits the enclosed information and documentation on behalf of SEAM Properties, LLC (SEAM) (the "**Applicant**") for a Zoning Permit, including Site Plan and Conditional Use Review on the property located at 104 South Main Street in Waterbury Village.

This letter addresses the requested information per the *Town and Village of Waterbury Zoning Regulations* (the "**Regulations**") dated May 16, 2016 and includes the following information: brief narratives of (A) the project, (B) the project goal, and the (C) project architecture; as well as the (D) site plan requirements, (E) conditional use criteria, and (F) a list of submission elements.

A completed Zoning Plan Application with the requisite fee of \$840.00 is also being submitted.

A. Project Description

The .22-acre parcel is located at 104 South Main Street in Waterbury Village. The project parcel is in the Village Mixed Residential (VMR) zoning district. The parcel currently contains two buildings. One is a two-unit apartment with a chiropractic office and the second building is a vacant barn. There is one existing curb-cut off of Main Street.

The project proposes a new 3-unit apartment building to replace the existing barn. The site development includes the new building, minor widening of the existing driveway, sewer service, water service, electrical service, parking spaces and general site work. The minimum lot size for this project is 20,000 square feet (.46 acres). The project includes a boundary line adjustment (BLA) between 14 South Main Street (Lot 1) and 112 South Main Street (Lot 2). The BLA increases the size of Lot 1 to .46 acres and decreases the size of Lot 2 to .83 acres. Refer to Boundary Line Adjustment Survey Plat sheet S1-01.

The site access will continue to be the 104 South Main Street curb cut at the west end of the parcel. New parking is located east of the barn and the balance of parking is in the existing large parking lot that goes with Lot 2 (112 South Main Street). A total of 8 new parking spaces are proposed with this project. With the BLA all 8 spaces are on Lot 1.

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104 So. Main St., Waterbury Village
December 23, 2021

The project site already includes mature landscaping in close proximity to the proposed apartment building and no additional landscaping is being proposed, other than some small shrubs and perennials around the new building in a few locations.

The domestic water service for the proposed apartment building will be provided by the Town of Waterbury municipal system by way of a new service connection. The wastewater service will be provided by the Town of Waterbury municipal system by way of a new gravity sewer service connection. Both sewer and water are in close proximity to the proposed apartment building. Refer to the Site Plan sheet C2-01.

B. Project Goal (3 Unit Apartment Building)

SEAM will transform a vacant barn building in disrepair and close to collapse, into a productive three-unit residential apartment building. Every effort has been made to create a site that fits with the surroundings.

C. Project Architecture

The Architectural Plans were done by Brian Touchette and are included with this letter. They include a North Elevation, South Elevation, West & East Elevation, Connector Elevation (showing the car port), Floor Plans, Foundation Layout Plan, Parting Wall Detail and Foundation Detail. The design of the proposed building is intended to fit in with the village character of the area. The proposed apartment building lines up with the existing 2-unit residential apartment building and they are connected by a car port.

The proposed building is a simple gabled form that resembles a small barn. It is behind the existing apartment building and has limited visibility from Main Street. It is intended to infill the site and provide a quiet setting for the added apartment units.

The building material will employ typical rural building materials to fit in with the village setting: The walls will be sided in similar fashion to the existing apartment building and many of the surrounding buildings. The roof will be standing seam metal roofing matching the existing apartment building and a majority of buildings in the direct vicinity.

D. Site Plan Review Criteria

Adequacy of Traffic Access

Traffic access to the parcel will be via the existing curb cut. The project also provides an easement for use of the 110 South Main Street curb cut, as a secondary access for ingress and egress.

The three added apartment units will not add any significant traffic to the area. It is anticipated the average daily traffic for this site will be about 10 vehicle trips per day for each of the 3 units for a total of 30 trips per day. Given the location of this project in the Village and the pedestrian connect ability to the stores, restaurants and recreational areas (the park is close by), we expect these vehicle trip generation numbers to be even lower as tenants can walk to various venues using the sidewalk system along Main

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Street. The peak hour vehicle trips expected for this project are about 2 per unit for a total of 6 vehicle peak hour trips in the morning and slightly more in the evening peak hour.

Adequacy of Circulation and Parking

Four parking spaces for this project are on the east side of the building along the northern boundary line and four more spaces are on the west side of the large existing paved parking lot. This provides parking for 8 vehicles or 2 per proposed apartment unit. There is no change to the existing parking for the existing two-unit apartment building and chiropractic office. The project can utilize either the 104 South Main Street curb cut or the 110 South Main Street curb. An easement allows use of the 110 South Main Street curb cut and it is currently being used by the occupants of both 104 South Main Street and the Office and Workshop at 112 South Main Street. Site distance at either of the curb cuts provide for safe access onto Main Street similar and consistent with the surround curb cuts. Refer to the Site Plans and Boundary Line Adjustment Survey Plat.

Adequacy of Landscaping and Screening (including exterior lighting)

The proposed three-unit apartment building will replace the existing barn and will not look significantly different to the current conditions. The site and surrounding area already contain mature landscaping and has limited space for added landscaping. As such we are not proposing any landscaping other than some shrubs and perennials around the building in a few locations. We are not proposing any parking lot lighting and currently none exists. The only lighting anticipated is a building mounted light at the building entrance and a motion sensor light on the east and west ends for security. The lights mounted on the building at the entrance will be shielded and downcast.

E. Conditional Use Criteria

1. Describe how the proposed use will not have an undue adverse impact on the capacity of existing or planned community facilities to accommodate it (including roads and highways, municipal water or sewer systems, school system, fire protection services):

The project will not have an undue adverse impact on the capacity of the existing or planned community facilities. The proposed 3-unit apartment building that replaces the existing defunct barn will connect to the municipal water system via the existing water service that comes into the property. The wastewater is also proposed to be connected to the existing sewer main that runs along the east side of the site. The project has received approval for sewer and water allocation. The project will not result in a significant increase of traffic. The project will not result in a significant increase in children attending the schools. The new building will be less of a fire hazard than the current barn.

2. Describe how the proposed use will not have an undue adverse impact on the character of the area affected as defined by the Municipal Plan and the zoning district in which the proposed project is located:

The project will not have an undue adverse impact on the character of the area. The parcel is in the Village Mixed Residential (VMR) zoning district. The project meets the dimensional requirements for the district and proposes uses that are permitted, pending conditional use approval. The building utilizes building materials that fit in the village setting and the landscaping is already in place with mature trees that will remain. This project is consistent with the character of the area.

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104 So. Main St., Waterbury Village
December 23, 2021

With regard to the Municipal Plan, the project is located in the Village Mixed Residential (VMR) zoning district and the proposed use is consistent with the Municipal Plan. The project aligns with the goals of the Waterbury Municipal Plan in providing more housing in the Village area.

3. Describe how the proposed use will not violate any municipal bylaws and ordinances in effect:

The project will meet municipal bylaws and ordinances. The project complies with the dimensional requirements, setbacks, lot coverage, site access, sign, and parking requirements as described in the Regulations.

4. Describe any devices or methods to prevent or control fumes, gas, dust, smoke, odor, noise, or vibration:

The project will not create fumes, gas, dust, smoke, odor, noise, or vibration once construction is complete. Any disturbance that is created during construction will be controlled using best practices to reduce and limit any construction impacts from the project.

5. For removal of earth or mineral products which is not incidental to a construction, landscaping, or agricultural operation, a removal project must meet specific conditions outlined within Section 302 of the Waterbury Zoning Regulations. Are the conditions included within the Application Submittals?

This is not applicable to the project as no removal of earth or mineral products is proposed.

F. List of Submission Elements

1. Cover Letter and Narrative (this document)
2. Completed Zoning Permit Application Form
3. Complete Conditional Use Application Form
4. Completed Site Plan Application Form
5. Subdivision Application Form
6. Overlay District Application Form
7. Architectural Plans
8. Civil Site Plans
9. Boundary Line Adjustment Plat

If you have any questions or need additional information, please do not hesitate to contact me directly at (802) 879-6331 x101 or by email at john.pitrowiski@tcevt.com.

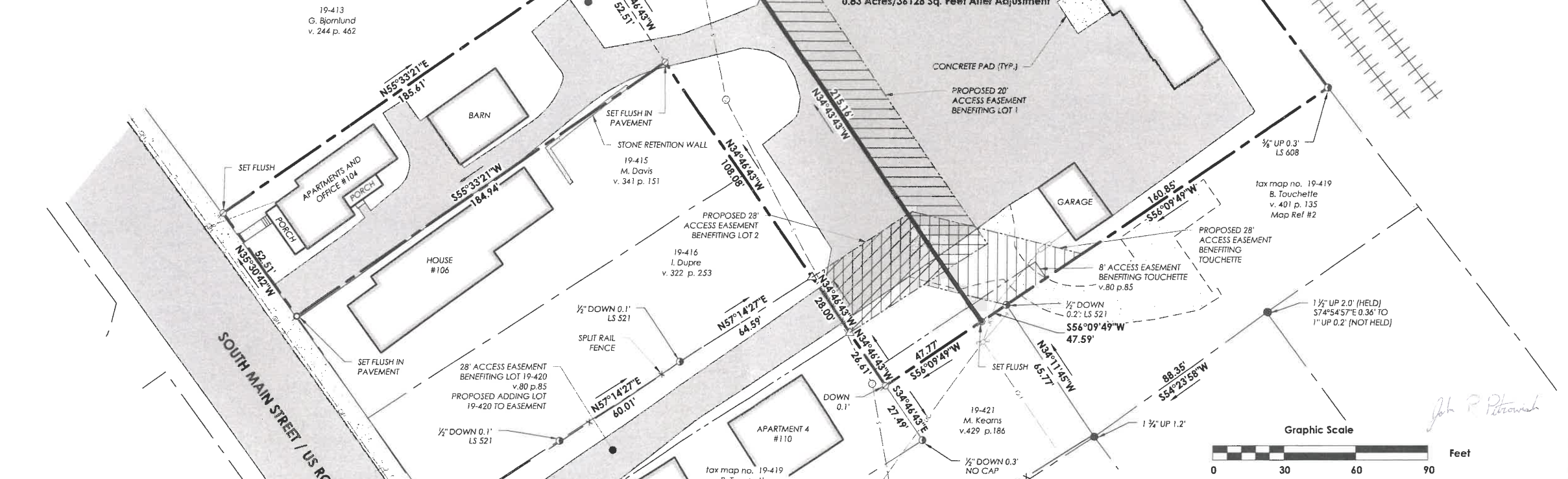
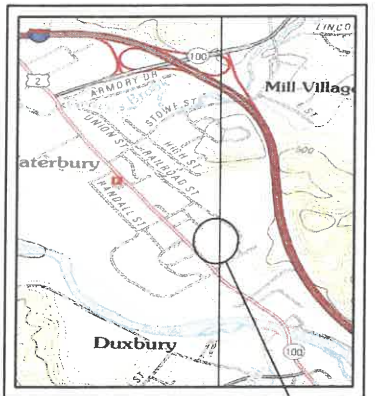
Sincerely,



John Pitrowiski, PE
Trudell Consulting Engineers

NOTES:

- THIS PLAT IS BASED ON DEEDS RESEARCHED IN THE TOWN WATERBURY LAND RECORDS AND FEATURES LOCATED IN THE FIELD WITH A TOTAL STATION ON 10/22/2021 AND GPS RTK ON 10/25/2021.
- BEARINGS ARE BASED ON VERMONT STATE PLANE GRID NORTH ESTABLISHED WITH RTK OBSERVATIONS FROM VERMONT VRS.
- PARCEL 19-414 WAS CONVEYED TO SEAM PROPERTIES LLC IN VOLUME 493 PAGE 294 ON 10/7/2021. PARCEL 19-420 WAS CONVEYED TO SEAM PROPERTIES LLC IN VOLUME 438 PAGE 151 ON 5/31/2019.
- REBARS SET ARE NO. 5 REINFORCING BARS WITH ALUMINUM CAPS STAMPED "TCE LAND SURVEYING, LS 109298".
- DISTANCES ARE SHOWN TO THE HUNDREDTH OF A FOOT AND BEARINGS ARE SHOWN TO THE SECOND FOR MATHEMATICAL CLOSURE PURPOSES ONLY.
- AN ATTEMPT HAS BEEN MADE TO IDENTIFY OR DELINEATE EASEMENTS, RIGHTS OF WAY, LEASE LANDS, ENCROACHMENTS, ETC. OBSERVED IN THE FIELD OR READILY FOUND IN THE LAND RECORDS. ADDITIONAL ENCUMBRANCES MAY EXIST WHICH ARE NOT SHOWN ON THIS PLAT.
- UNDERGROUND UTILITY LINES SHOWN ARE BASED ON ABOVE GROUND STRUCTURES AND PLANS OF RECORD AND VISIBLE EVIDENCE FOUND IN THE FIELD. ACTUAL LOCATION OF UNDERGROUND LINES MAY VARY.
- THE RIGHT OF WAY WIDTH OF US ROUTE 2 IS ASSUMED TO BE 49.5' (3 RODS) BASED UPON THE LOCATION OF SIDEWALKS AND ALLOWED BY STATE STATUTE.



- PLAT REFERENCES:
- "LANDS OF BREED PROPERTIES II LIMITED PARTNERSHIP (JOHNSON & DIX FUEL CORP. 112 SOUTH MAIN STREET" DATED AUGUST 2000 BY LITTLE RIVER SURVEYING COMPANY LLC. AND RECORDED IN SLIDE 697 IN THE WATERBURY LAND RECORDS.
 - "TOUCHETTE 110 SO. MAIN STREET" DATED DEC. 2002 BY GLENN TOWNE AND PROVIDED BY B. TOUCHETTE.

APPROVED BY RESOLUTION OF THE DEVELOPMENT REVIEW BOARD OF THE TOWN OF WATERBURY, VT. ON THE _____ DAY OF _____ 202____ SUBJECT TO THE REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION.

SIGNED THIS _____ DAY OF _____ 202____

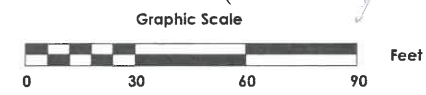
BY _____, CHAIRMAN

WATERBURY TOWN CLERK'S OFFICE
RECEIVED FOR RECORD

_____ A.D. 202____
at _____ O'clock _____ minutes ____ m
and recorded in Slide _____
Attest: _____ Town Clerk

Revisions	#	Description	Date	By

- LEGEND**
- △ CALCULATED POINT
 - REBAR (SET)
 - IRON PIPE (FOUND)
 - ⊙ SEWER MANHOLE
 - ⊙ REINFORCING BAR (FOUND)
 - ⊙ UTILITY POLE
 - OVERHEAD UTILITY LINE
 - UNDERGROUND UTILITY LINE
 - ABUTTING BOUNDARY LINE
 - BOUNDARY LINE TO BE REMOVED
 - EXISTING BOUNDARY LINE
 - NEW BOUNDARY LINE
 - x FENCE



**Boundary Line Adjustment
Lands of SEAM Properties LLC**
Parcel ID# 19-420 & 19-414
South Main Street
Waterbury, Vermont

Date: 11/12/2021	Drawn By: GMS	Crd file: 21-125.crd	Project #: 21-125
Scale: 1"=30'	Surveyed By: DBM	Field Bk: 361	Sheet: S1-01

THIS PLAT IS BASED ON A FIELD SURVEY WHICH MEETS OR EXCEEDS THE MINIMUM STANDARDS AS SET FORTH BY THE VERMONT BOARD OF LAND SURVEYORS. FIELD EVIDENCE, PERTINENT RECORD INFORMATION, AND PAROLE EVIDENCE WAS USED IN THE CALCULATION AND DETERMINATION OF THE BOUNDARIES SHOWN ON THIS PLAT. ANY INCONSISTENCIES ARE SHOWN HEREON TO THE BEST OF MY KNOWLEDGE. THIS PLAT MEETS THE REQUIREMENTS OF 27 VSA 1403.

GERALD M. STOCKMAN, L.S. #109298

TRUDELL CONSULTING ENGINEERS
478 BLAIR PARK ROAD | WILLISTON, VERMONT 05495 802.879.6331 | WWW.TCEVT.COM

This plat was created using pigment based ink on stable media

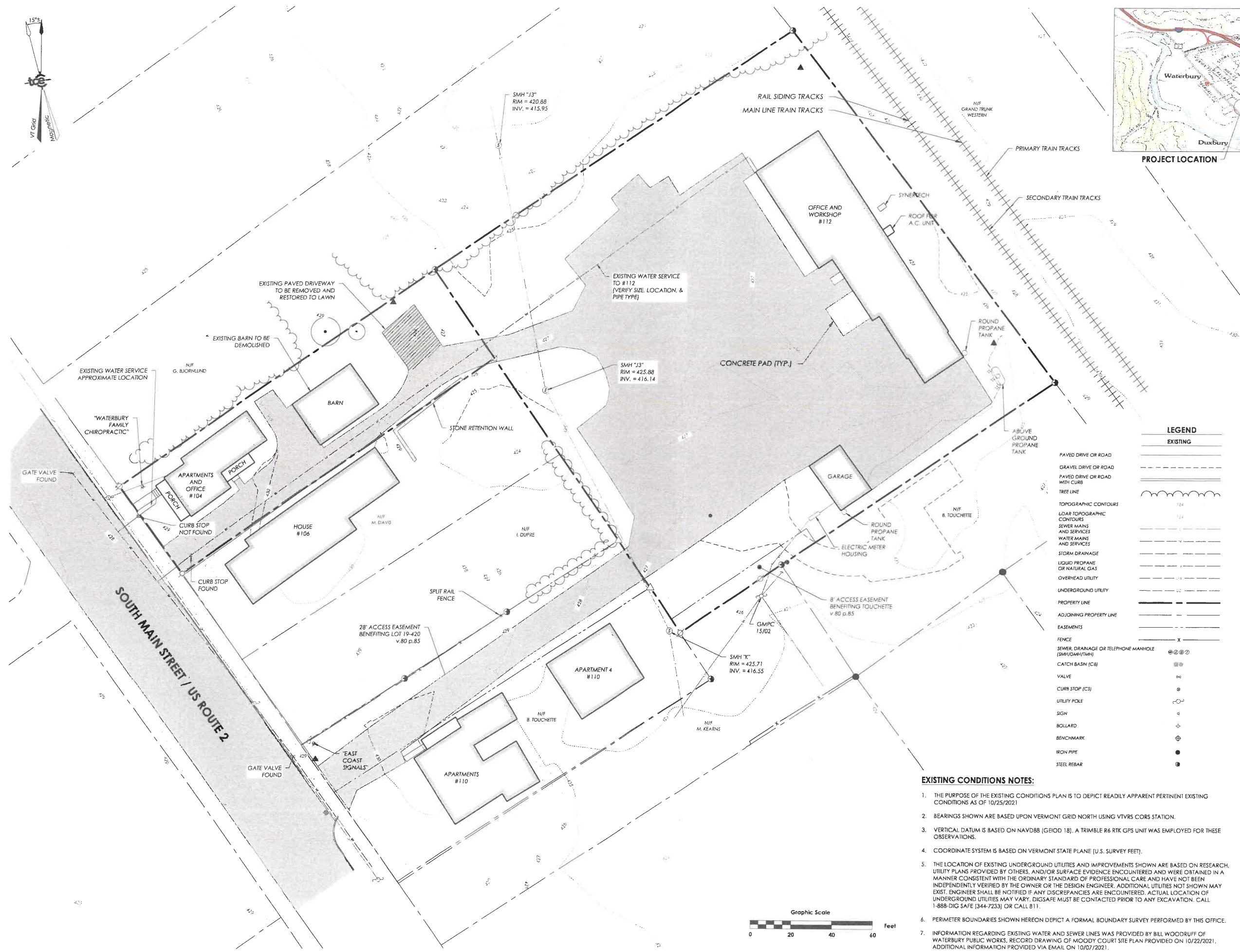
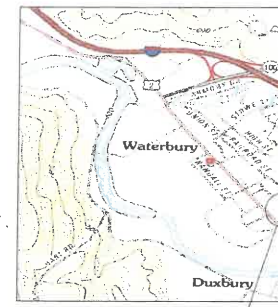




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Revisions	No.	Description	Date	By

EXHIBIT D

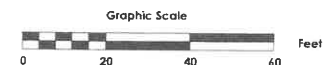


LEGEND

EXISTING	Symbol
PAVED DRIVE OR ROAD	—
GRAVEL DRIVE OR ROAD	- - -
PAVED DRIVE OR ROAD WITH CURB	— —
TREE LINE	~ ~ ~
TOPOGRAPHIC CONTOURS	— (with elevation)
LIAR TOPOGRAPHIC CONTOURS	- - - (with elevation)
SEWER MAINS AND SERVICES	— (with 'S')
WATER MAINS AND SERVICES	— (with 'W')
STORM DRAINAGE	— (with 'D')
LIQUID PROPANE OR NATURAL GAS	— (with 'G')
OVERHEAD UTILITY	— (with 'O')
UNDERGROUND UTILITY	— (with 'U')
PROPERTY LINE	— (with 'P')
ADJOINING PROPERTY LINE	- - - (with 'A')
EASEMENTS	— (with 'E')
FENCE	X
SEWER, DRAINAGE OR TELEPHONE MANHOLE (SMH/DMH/TMH)	⊕
CATCH BASIN (CB)	⊕
VALVE	∞
CURB STOP (CS)	⊙
UTILITY POLE	⊕
SIGN	⊕
BOLLARD	⊕
BENCHMARK	⊕
IRON PIPE	●
STEEL REBAR	⊙

EXISTING CONDITIONS NOTES:

1. THE PURPOSE OF THE EXISTING CONDITIONS PLAN IS TO DEPICT READILY APPARENT PERTINENT EXISTING CONDITIONS AS OF 10/25/2021
2. BEARINGS SHOWN ARE BASED UPON VERMONT GRID NORTH USING VTVRS CORS STATION.
3. VERTICAL DATUM IS BASED ON NAVD88 (GEOID 18). A TRIMBLE R6 RTK GPS UNIT WAS EMPLOYED FOR THESE OBSERVATIONS.
4. COORDINATE SYSTEM IS BASED ON VERMONT STATE PLANE (U.S. SURVEY FEET).
5. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS SHOWN ARE BASED ON RESEARCH, UTILITY PLANS PROVIDED BY OTHERS, AND/OR SURFACE EVIDENCE ENCOUNTERED AND WERE OBTAINED IN A MANNER CONSISTENT WITH THE ORDINARY STANDARD OF PROFESSIONAL CARE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE DESIGN ENGINEER. ADDITIONAL UTILITIES NOT SHOWN MAY EXIST. ENGINEER SHALL BE NOTIFIED IF ANY DISCREPANCIES ARE ENCOUNTERED. ACTUAL LOCATION OF UNDERGROUND UTILITIES MAY VARY. DIGSAFE MUST BE CONTACTED PRIOR TO ANY EXCAVATION. CALL 1-888-DIG SAFE (344-7233) OR CALL 811.
6. PERIMETER BOUNDARIES SHOWN HEREON DEPICT A FORMAL BOUNDARY SURVEY PERFORMED BY THIS OFFICE.
7. INFORMATION REGARDING EXISTING WATER AND SEWER LINES WAS PROVIDED BY BILL WOODRUFF OF WATERBURY PUBLIC WORKS, RECORD DRAWING OF MOODY COURT SITE PLAN PROVIDED ON 10/22/2021. ADDITIONAL INFORMATION PROVIDED VIA EMAIL ON 10/07/2021.



Use of These Drawings

1. Unless otherwise noted, these Drawings are intended for preliminary planning, coordination with other disciplines or utilities, and/or approval from the regulatory authorities. They are not intended as construction drawings unless noted as such or marked approved by a regulatory authority.
2. By use of these drawings for construction of the Project, the Owner represents that they have reviewed, approved, and accepted the drawings, obtained all necessary permits, and have met with all applicable parties/disciplines, including but not limited to, the Engineer and the Architect, to insure these plans are properly coordinated including, but not limited to, contract documents, specifications, owner/contractor agreements, building and mechanical plans, private and public utilities, and other pertinent permits for construction.
3. Owner and Architect, are responsible for final design and location of buildings shown, including an area measured a minimum five (5) feet around any building and coordinating final utility connections shown on these plans.
4. Prior to using these plans for construction layout, the user shall contact TCE to ensure the plan contains the most current revisions.
5. These Drawings are specific to the Project and are not transferable. As instruments of service, these drawings, and copies thereof, furnished by TCE are its exclusive property. Changes to the drawings may only be made by TCE. If errors or omissions are discovered, they shall be brought to the attention of TCE immediately.
6. It is the User's responsibility to ensure this copy contains the most current revisions.



Project Title
Lamson
 104 & 112 South Main St.
 Waterbury, VT 05676

Existing Conditions & Demolition Plan

Date:	10/28/2021
Scale:	1"=20'
Project Number:	21-125
Drawn By:	DBM
Project Engineer:	SRK
Approved By:	JJP
Field Book:	361

C1-01

PROJECT INFORMATION:

- OWNER OF RECORD: SEAM PROPERTIES, LLC
PO BOX 674
WATERBURY, VERMONT 05676
- TAX PARCEL ID: 916-0104.V
SPAN: 676-221-11358
- PHYSICAL ADDRESS OF PROPERTY: 104 SOUTH MAIN STREET
WATERBURY, VT 05676
- PARCEL SIZE: 21 ± ACRES
- DEED BOOK/PAGE: 493/294

PURPOSE OF PLAN:

THE PURPOSE OF THIS PLAN IS TO CONSTRUCT A STATE-COMPLIANT WASTEWATER DISPOSAL SYSTEM AND POTABLE WATER SUPPLY SYSTEM FOR A PROPOSED 3 UNIT APARTMENT BUILDING ON A DEVELOPED LOT IN WATERBURY, VT. THE BUILDING SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY. FINAL SIZE AND SHAPE IS BY OWNER. ANY CHANGES IN DESIGN ELEVATIONS ARE TO BE CONFIRMED BY THE ENGINEER PRIOR TO CONSTRUCTION.

BASIS OF DESIGN FOR MUNICIPAL WATER SUPPLY:

AVERAGE DAY DEMAND
EXISTING
CHIROPRACTOR'S OFFICE: 32 GPD/THERAPIST * 1 THERAPIST = 32 GPD
4 GPD/CLIENT * 8 CLIENT MAX PER DAY = 32 GPD
2 UNIT APARTMENT BUILDING: 280 GPD/UNIT * 2 UNITS = 560 GPD

PROPOSED
2-BEDROOM APARTMENT: [70 GPD * 2 PEOPLE PER BEDROOM] * 2-BEDROOMS PER UNIT = 280 GPD PER LIVING UNIT
3 EA UNITS = 280 GPD/LIVING UNIT * 3 UNITS = 840 GPD
INCREASED DESIGN FLOW = 840 GPD
TOTAL PROPOSED DESIGN FLOW = 1,464 GPD

MAXIMUM DAY DEMAND
AVERAGE DAY DEMAND / 720 MIN = 1,464 GPD / 720 MIN = 2.03 GPM

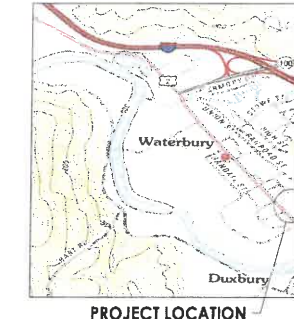
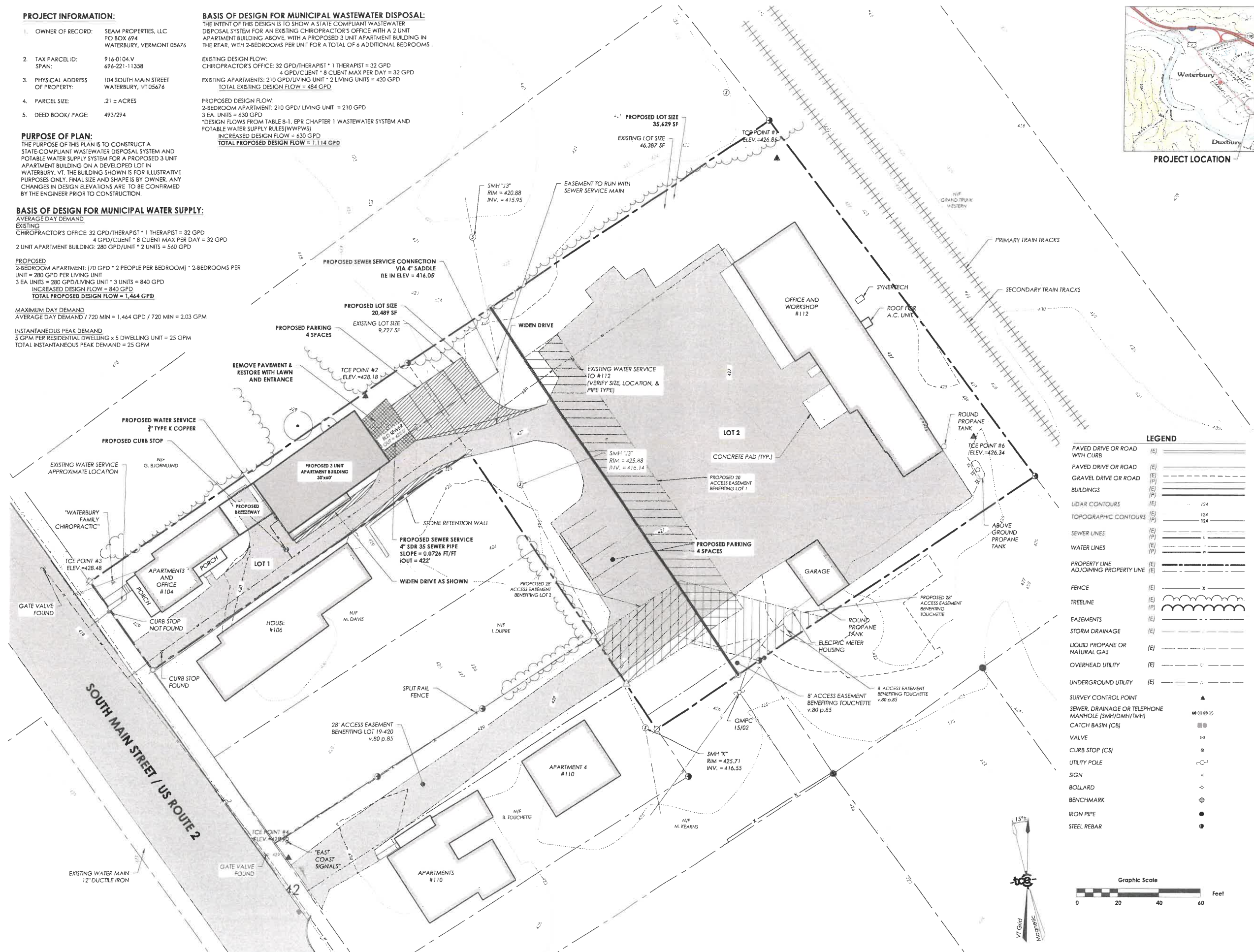
INSTANTANEOUS PEAK DEMAND
5 GPM PER RESIDENTIAL DWELLING x 5 DWELLING UNIT = 25 GPM
TOTAL INSTANTANEOUS PEAK DEMAND = 25 GPM

BASIS OF DESIGN FOR MUNICIPAL WASTEWATER DISPOSAL:

THE INTENT OF THIS DESIGN IS TO SHOW A STATE COMPLIANT WASTEWATER DISPOSAL SYSTEM FOR AN EXISTING CHIROPRACTOR'S OFFICE WITH A 2 UNIT APARTMENT BUILDING ABOVE, WITH A PROPOSED 3 UNIT APARTMENT BUILDING IN THE REAR, WITH 2-BEDROOMS PER UNIT FOR A TOTAL OF 6 ADDITIONAL BEDROOMS

EXISTING DESIGN FLOW:
CHIROPRACTOR'S OFFICE: 32 GPD/THERAPIST * 1 THERAPIST = 32 GPD
4 GPD/CLIENT * 8 CLIENT MAX PER DAY = 32 GPD
EXISTING APARTMENTS: 210 GPD/LIVING UNIT * 2 LIVING UNITS = 420 GPD
TOTAL EXISTING DESIGN FLOW = 484 GPD

PROPOSED DESIGN FLOW:
2-BEDROOM APARTMENT: 210 GPD/LIVING UNIT = 210 GPD
3 EA UNITS = 630 GPD
*DESIGN FLOWS FROM TABLE 8-1, EPC CHAPTER 1 WASTEWATER SYSTEM AND POTABLE WATER SUPPLY RULES(WWPWS)
INCREASED DESIGN FLOW = 630 GPD
TOTAL PROPOSED DESIGN FLOW = 1,114 GPD



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Revisions

No.	Description	Date	By

EXHIBIT E.1

LEGEND

PAVED DRIVE OR ROAD WITH CURB	(E)	=====
PAVED DRIVE OR ROAD	(E)	=====
GRAVEL DRIVE OR ROAD	(E)	-----
BUILDINGS	(P)	=====
LIDAR CONTOURS	(E)	----- 124
TOPOGRAPHIC CONTOURS	(E)	----- 124
SEWER LINES	(P)	-----
WATER LINES	(E)	-----
PROPERTY LINE	(E)	-----
ADJOINING PROPERTY LINE	(E)	-----
FENCE	(E)	----- X
TREELINE	(E)	-----
EASEMENTS	(E)	-----
STORM DRAINAGE	(E)	-----
LIQUID PROPANE OR NATURAL GAS	(E)	-----
OVERHEAD UTILITY	(E)	-----
UNDERGROUND UTILITY	(E)	-----
SURVEY CONTROL POINT		▲
SEWER, DRAINAGE OR TELEPHONE MANHOLE (SMH/DNH/TMH)		⊙
CATCH BASIN (CB)		⊞
VALVE		∞
CURB STOP (CS)		⊗
UTILITY POLE		⊖
SIGN		⊕
BOLLARD		⊙
BENCHMARK		⊕
IRON PIPE		⊙
STEEL REBAR		⊙

478-221-11358
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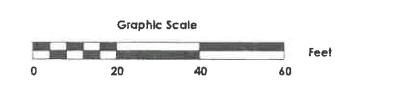


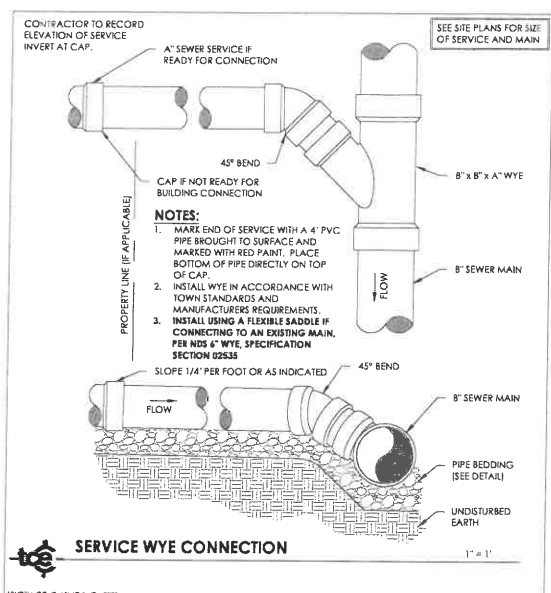
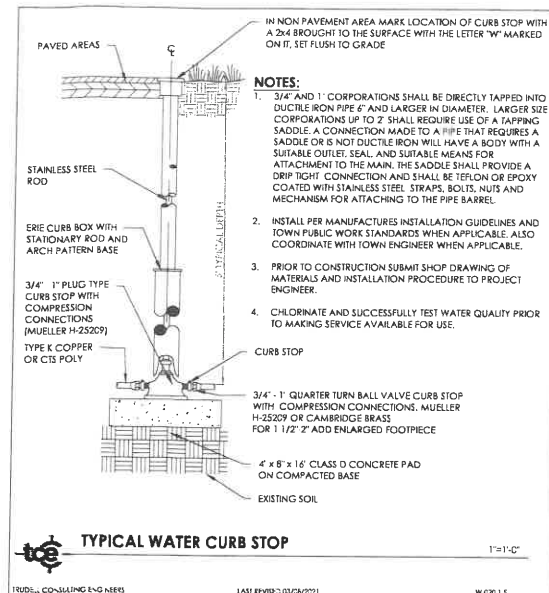
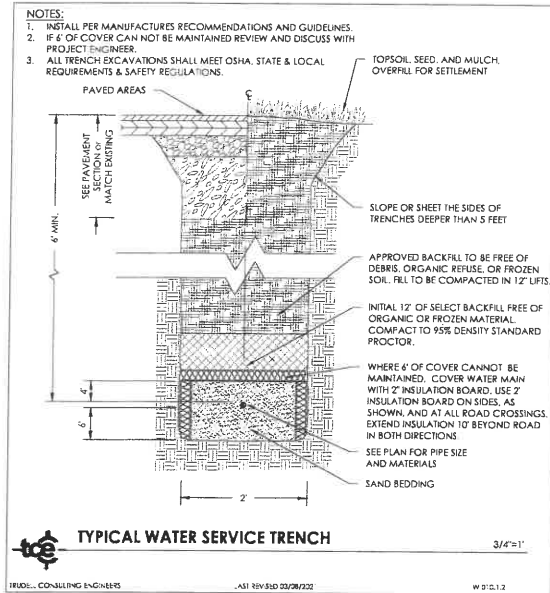
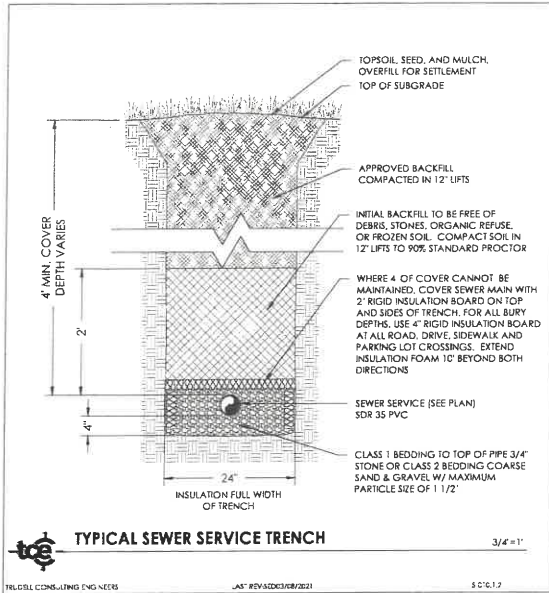
Project Title
SEAM Properties, LLC
104 & 112 South Main St.
Waterbury, VT 05676

Sheet Title
Site Plan

Date: 11/11/2021
Scale: 1" = 20'
Project Number: 21-125
Drawn By: SRK
Project Engineer: SRK
Approved By: JPP
Field Book: 361

C2-01





DISINFECTING WATER MAINS AND SYSTEMS

*ALL TESTING SHALL BE PERFORMED IN THE PRESENCE OF THE TOWN ENGINEER OR PUBLIC WORKS DEPARTMENT AND PROJECT ENGINEER (AS DESIGNATED BY OWNER).

A. PRIOR TO BEING PUT INTO SERVICE, WATER MAINS SHALL BE DISINFECTED ACCORDING TO THE LATEST EDITION OF AWWA SPECIFICATION C. 651, THE TABLET METHOD IN AWWA STANDARD 651 IS NOT ACCEPTABLE.

B. THE NEW LINE SHALL BE FLUSHED AT A VELOCITY OF NOT LESS THAN 2.5 FEET PER SECOND (OPEN 2-1/2 INCH HYDRANT CONNECTION). FLUSH FOR A PERIOD DETERMINED BY THE PROJECT ENGINEER FOR THE LENGTH OF MAIN TO BE DISINFECTED.

C. CHLORINATION SHALL BE ACCOMPLISHED BY INTRODUCING A SODIUM HYPOCHLORITE SOLUTION FOR A RESULTANT CONCENTRATION OF GREATER THAN 25 PARTS PER MILLION OF FREE CHLORINE.

D. USING A NOZZLE AT EACH END HYDRANT, CONTROL THE RATE OF FLOW INTO THE NEW MAIN AND PROPORTIONALLY FEED THE SODIUM HYPOCHLORITE SOLUTION INTO THE MAIN. AFTER THE SOLUTION HAS REACHED ALL POINTS IN THE SYSTEM, CLOSE THE VALVE SUPPLYING WATER FROM THE EXISTING MAIN AND THE END HYDRANTS. MAINTAIN THE HEAVILY CHLORINATED WATER IN THE MAIN FOR 24 HOURS DURING WHICH TIME ALL MAIN LINE VALVES SHOULD BE OPERATED. AFTER 24 HOURS THE MINIMUM CHLORINE RESIDUAL MUST BE AT LEAST 10 PARTS PER MILLION.

E. FLUSH HEAVILY CHLORINATED WATER FROM THE LINE AND REFILL THE LINE FOR SERVICE (USE CHLORINE DIFFUSER). TAKE AND SUBMIT TWO BACTERIOLOGICAL SAMPLES (TAKEN 24 HOURS APART) OF THE WATER TO THE STATE OF VERMONT OR A STATE APPROVED TESTING LABORATORY. IF THE RESULTS ARE UNSATISFACTORY, THE DISINFECTION PROCEDURE WILL BE REPEATED UNTIL SATISFACTORY RESULTS ARE OBTAINED.

F. FINISHED WATER STORAGE STRUCTURES SHALL BE DISINFECTED IF APPLICABLE, IN ACCORDANCE WITH CURRENT AWWA STANDARD C.652. TWO OR MORE SUCCESSIVE SETS OF SAMPLES, TAKEN AT 24 HOUR INTERVALS, SHALL INDICATE MICROBIOLOGICALLY SATISFACTORY WATER BEFORE THE FACILITY IS PLACED INTO OPERATION.

G. DISPOSAL OF HEAVILY CHLORINATED WATER FROM THE DISINFECTION PROCESS SHALL BE DECHLORINATED OR OTHERWISE HANDLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE VERMONT AGENCY OF NATURAL RESOURCES.

H. THE DISINFECTION PROCEDURE (AWWA CHLORINATION METHOD 3, SECTION 4.3 C.652) WHICH ALLOWS USE OF THE CHLORINATED WATER HELD IN THE STORAGE TANK FOR DISINFECTION PURPOSES IS NOT RECOMMENDED. WHEN THAT PROCEDURE IS USED, IT IS REQUIRED THAT THE INITIAL HEAVILY CHLORINATED WATER BE PROPERLY DEPOSED IN ORDER TO PREVENT RELEASE OF WATER WHICH MAY CONTAIN VARIOUS CHLORINATED ORGANIC COMPOUNDS INTO THE DISTRIBUTION SYSTEM.

DISINFECTION OF WATER SYSTEM

CONTRACTOR'S CERTIFICATION REQUIRED

PRIOR TO THE DESIGN ENGINEER CERTIFYING THAT THE INSTALLATION HAS BEEN INSTALLED IN ACCORDANCE WITH THE PERMITTED DESIGN, THE CONTRACTOR SHALL PROVIDE A CERTIFICATION THAT THE WATER SYSTEM WAS INSTALLED AND TESTED IN ACCORDANCE WITH THE APPROVED DESIGN PLANS. STATE PERMITS REQUIRE THERE SHALL BE NO DEVIATIONS FROM THE APPROVED PLANS WITHOUT PRIOR APPROVAL. THE DESIGN ENGINEER SHALL BE NOTIFIED AND ALLOWED TO OBSERVE THE CRITICAL PHASES OF CONSTRUCTION INCLUDING ANY REQUIRED TESTS. (I.E.WISE, THE DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DEVIATIONS FROM THE APPROVED PLANS. SINCE THE DESIGN ENGINEER DOES NOT CUSTOMARILY OBSERVE ALL PHASES OF THE WORK, OR ALL TESTING, HE MAY RELY ON THE CONTRACTOR'S CERTIFICATION AS THE BASIS FOR FINAL CERTIFICATION. THE CONTRACTOR SHALL THEREFORE SIGN AND RETURN A COPY OF THE FOLLOWING CERTIFICATION UPON COMPLETION OF THE WORK.

"I HEREBY CERTIFY THAT I HAVE INSTALLED, PROPERLY TESTED, AND SUCCESSFULLY PASSED THOSE TESTS, AND THE WATER SYSTEM(S) ARE BUILT IN ACCORDANCE WITH THE APPROVED DESIGN PLANS AND APPLICABLE PERMIT CONDITIONS."

THE CONTRACTOR CERTIFICATION INCLUDES SUPPLIERS AND SUB CONTRACTORS

CONTRACTOR NAME: _____
 AUTHORIZED AGENTS NAME: _____
 SIGNATURE: _____ DATE: _____

NOTE ANY DEVIATIONS FROM APPROVED PLANS HERE:

NOTE: THE CERTIFICATION AND THE PROJECT ENGINEER'S SUBSEQUENT CERTIFICATION DOES NOT VOID THE CONTRACTOR FROM REPAIR OR REPLACEMENT OF DISCREPANCIES DISCOVERED AT A LATER DATE. THE CONTRACTOR REMAINS RESPONSIBLE, INCLUDING CUSTOMARY GUARANTEE AND WARRANTY PERIODS.

CONTRACTOR'S CERTIFICATION FOR WATER SYSTEM

CONTRACTOR'S CERTIFICATION REQUIRED

PRIOR TO THE DESIGN ENGINEER CERTIFYING THAT THE INSTALLATION HAS BEEN INSTALLED IN GENERAL ACCORDANCE WITH THE PERMITTED DESIGN, THE CONTRACTOR SHALL PROVIDE A CERTIFICATION THAT THE WASTEWATER SYSTEM WAS INSTALLED AND TESTED IN ACCORDANCE WITH THE APPROVED DESIGN PLANS. STATE PERMITS REQUIRE THERE SHALL BE NO DEVIATIONS FROM THE APPROVED PLANS WITHOUT PRIOR APPROVAL. THE DESIGN ENGINEER SHALL BE NOTIFIED AND ALLOWED TO OBSERVE THE CRITICAL PHASES OF CONSTRUCTION INCLUDING ANY REQUIRED TESTS. (I.E.WISE, THE DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DEVIATIONS FROM THE APPROVED PLANS. SINCE THE DESIGN ENGINEER DOES NOT CUSTOMARILY OBSERVE ALL PHASES OF THE WORK, OR ALL TESTING, HE MAY RELY ON THE CONTRACTOR'S CERTIFICATION AS THE BASIS FOR FINAL CERTIFICATION. THE CONTRACTOR SHALL THEREFORE SIGN AND RETURN A COPY OF THE FOLLOWING CERTIFICATION UPON COMPLETION OF THE WORK.

"I HEREBY CERTIFY THAT I HAVE INSTALLED, PROPERLY TESTED, AND SUCCESSFULLY PASSED THOSE TESTS, AND THE WASTEWATER DISPOSAL AND COLLECTION SYSTEM(S) ARE BUILT IN GENERAL ACCORDANCE WITH THE APPROVED DESIGN PLANS AND APPLICABLE PERMIT CONDITIONS."

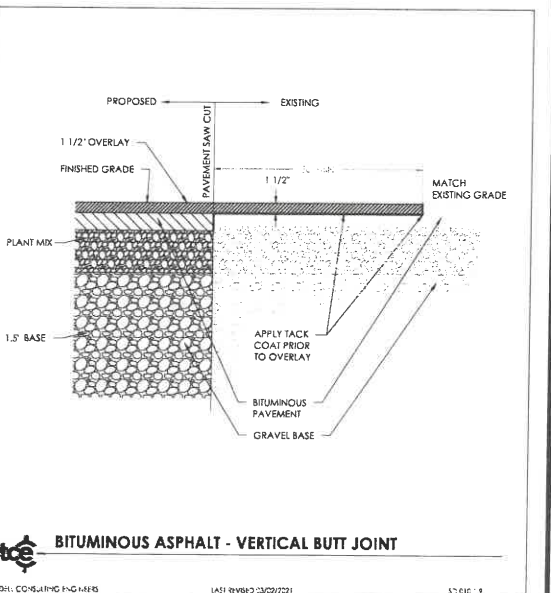
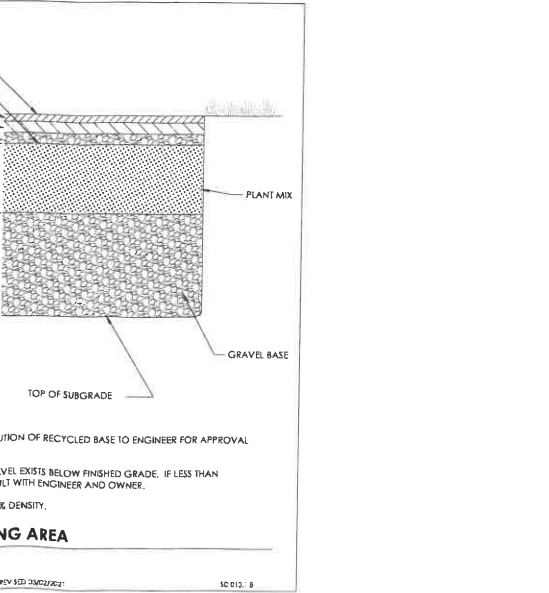
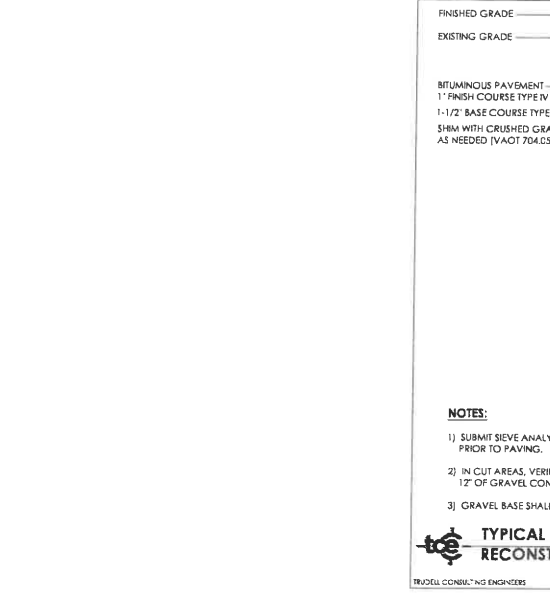
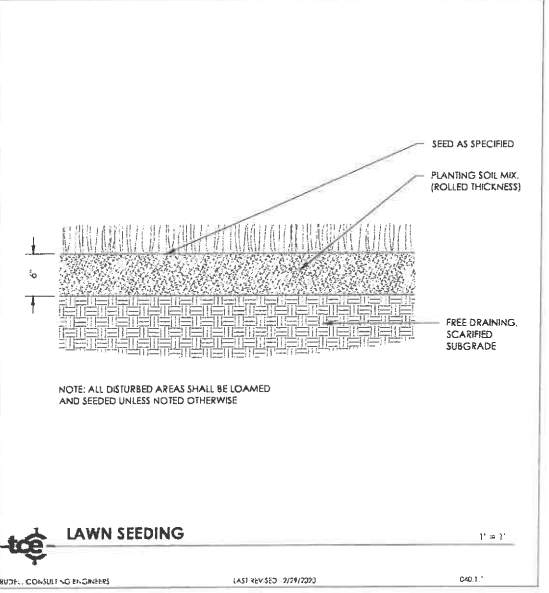
THE CONTRACTOR CERTIFICATION INCLUDES SUPPLIERS AND SUB-CONTRACTORS

CONTRACTOR NAME: _____
 AUTHORIZED AGENTS NAME: _____
 SIGNATURE: _____ DATE: _____

NOTE ANY DEVIATIONS FROM APPROVED PLANS HERE:

NOTE: THE CERTIFICATION AND THE PROJECT ENGINEER'S SUBSEQUENT CERTIFICATION DOES NOT VOID THE CONTRACTOR FROM REPAIR OR REPLACEMENT OF DISCREPANCIES DISCOVERED AT A LATER DATE. THE CONTRACTOR REMAINS RESPONSIBLE, INCLUDING CUSTOMARY GUARANTEE AND WARRANTY PERIODS.

CONTRACTOR'S CERTIFICATION FOR WASTEWATER SYSTEM



494-221-1.1388
 Use of These Drawings
 1. Unless otherwise noted, these Drawings are intended for preliminary planning, coordination with other disciplines or utilities, and/or approval from the regulatory authorities. They are not intended as construction drawings unless noted as such or marked approved by a regulatory authority.
 2. By use of these drawings for construction of the Project, the Owner represents that they have reviewed, approved, and accepted the drawings, obtained all necessary permits, and have met with all applicable parties/disciplines, including but not limited to, the Engineer and the Architect, to issue these plans as properly coordinated including, but not limited to, contract documents, specifications, owner/contractor agreements, building and mechanical plans, private and public utilities, and other pertinent permits for construction.
 3. Owner and Architect are responsible for final design and location of buildings shown, including an area measured a minimum five (5) feet around any building and coordinating final utility connections shown on these plans.
 4. Prior to using these plans for construction layout, the user shall contact TCE to ensure the plan contains the most current revisions.
 5. These Drawings are specific to the Project and are not transferable. As instruments of service, these drawings, and copies thereof, furnished by TCE are its exclusive property. Changes to the drawings may only be made by TCE. If errors or omissions are discovered, they shall be brought to the attention of TCE immediately.
 6. It is the User's responsibility to ensure this copy contains the most current revisions.



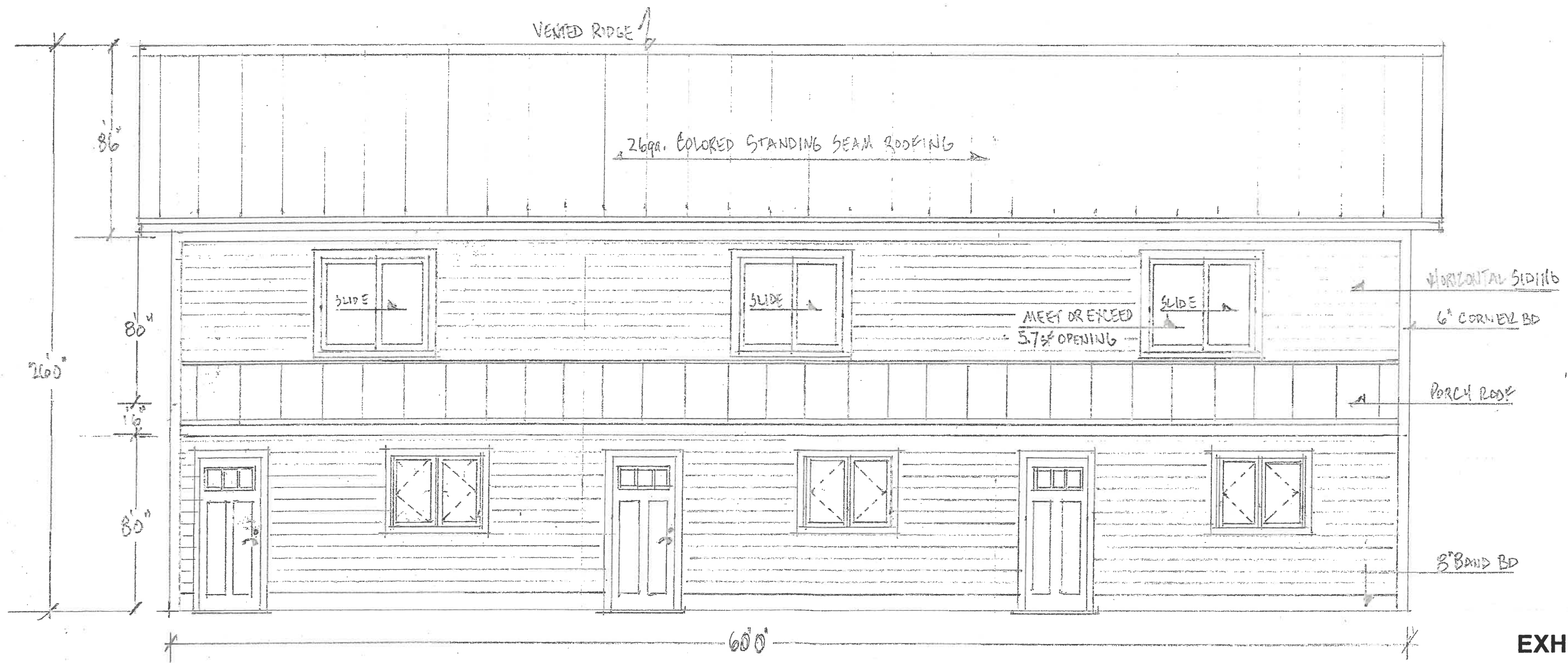
SEAM PROPERTIES

1046 MAIN ST

PROPOSED 3-UNIT

3/16" = 1'0"

NORTH ELEVATION



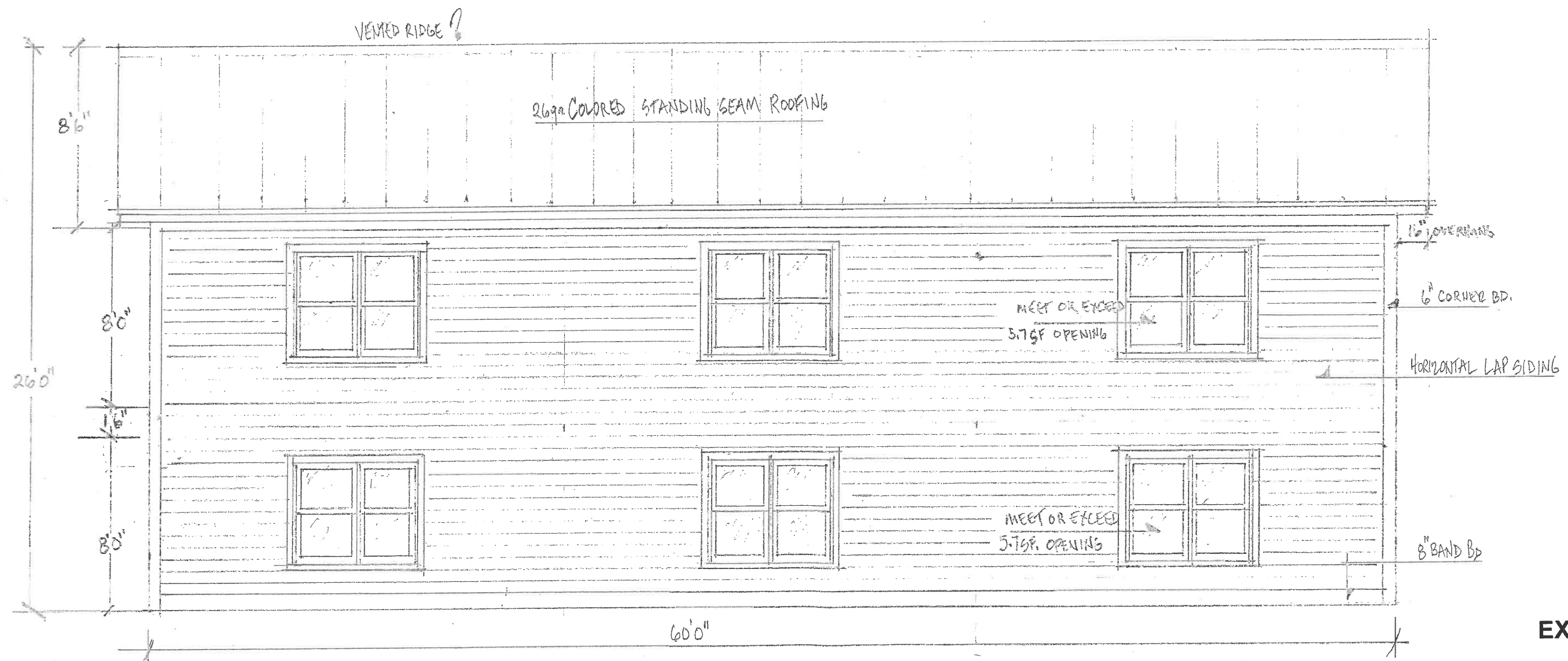
SEAM PROPERTIES

104 S. MAIN ST

PROPOSED 3-UNIT

3/16" x 1" O"

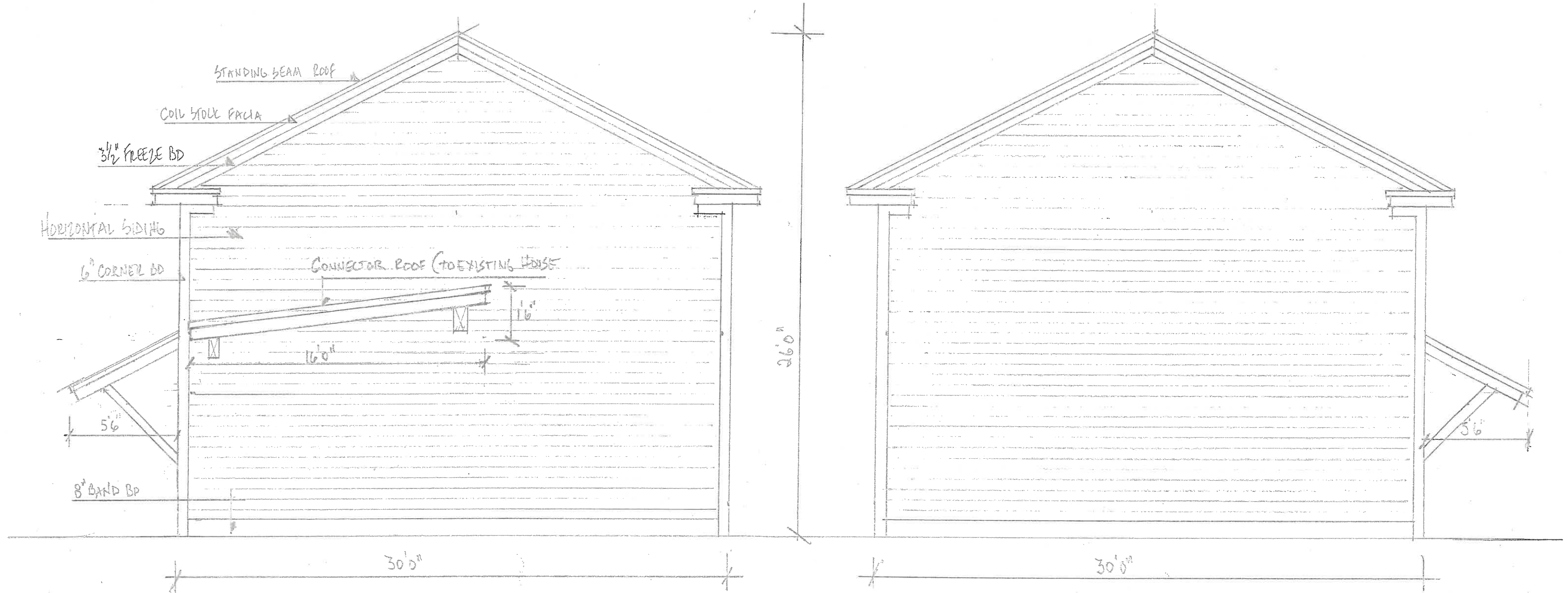
SOUTH ELEVATION



SEAM PROPERTIES
104 S. MAIN ST.
PROPOSED 3-UNIT
3/16" = 1'0"

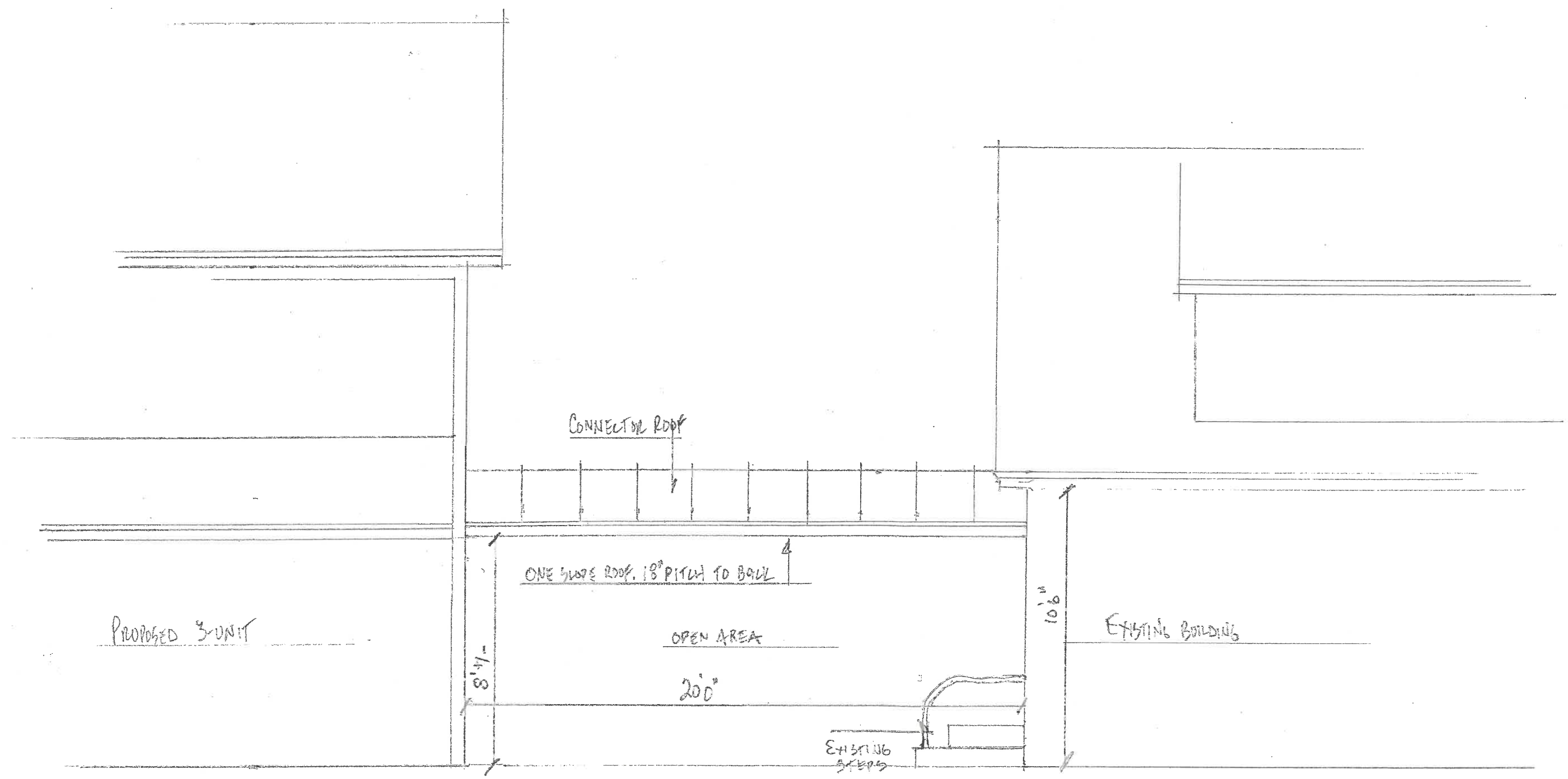
WEST ELEVATION

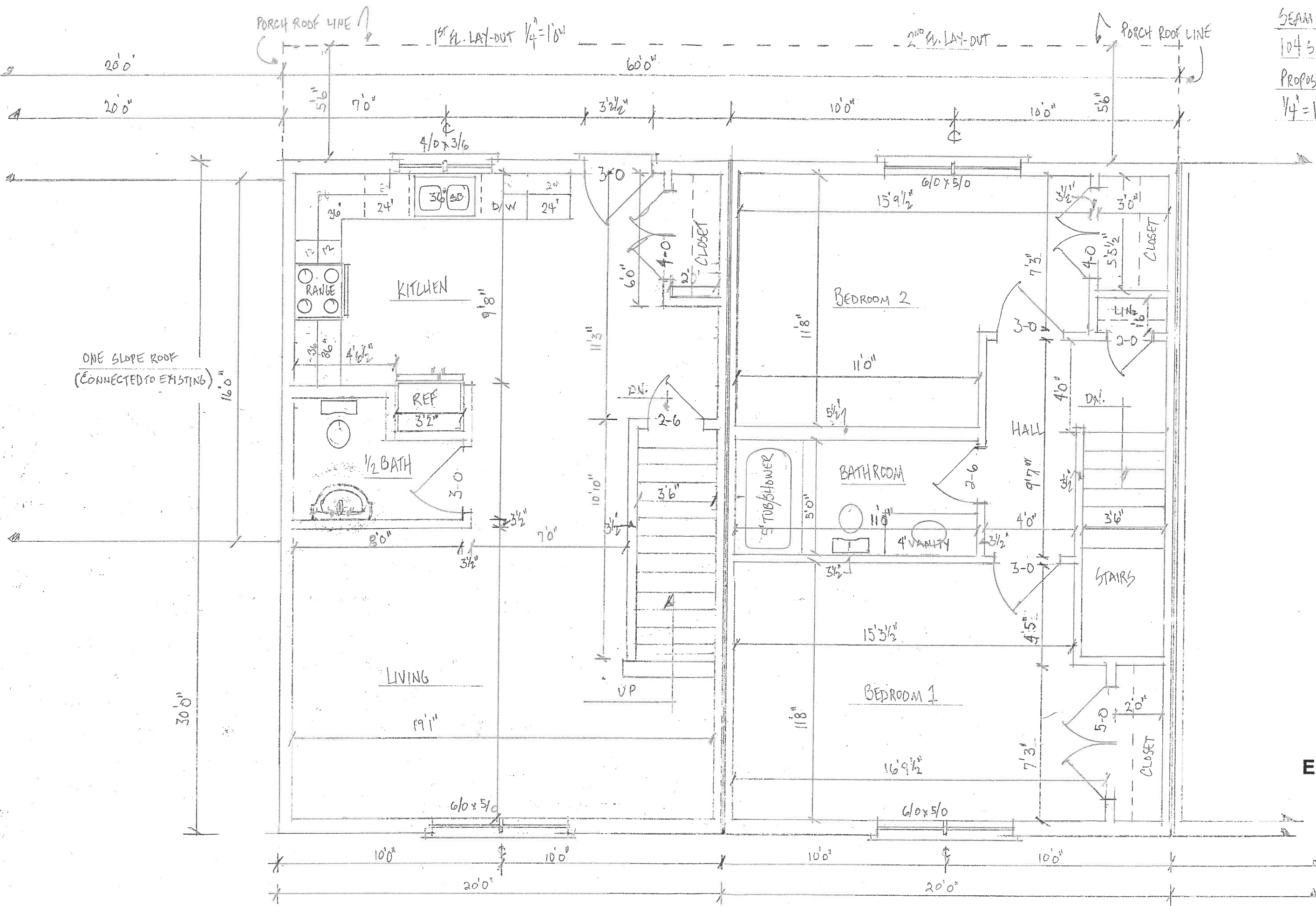
EAST ELEVATION



SEAM PROPERTIES
107 S. MAIN ST.
PROPOSED 3-UNIT
1/4" = 1' 0"

CONNECTOR ELEVATION (NORTH)



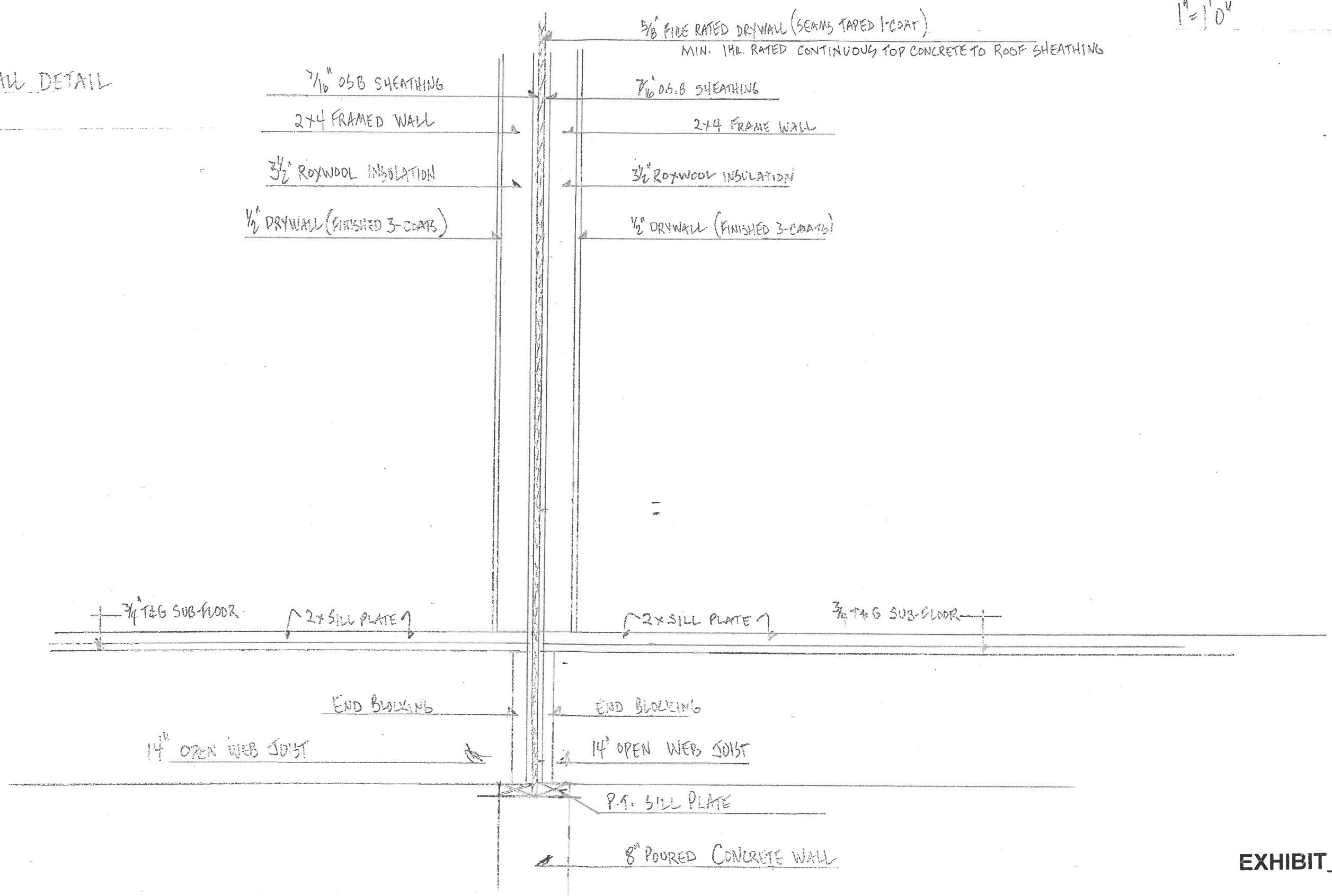


SEAM PROPERTIES
 104 S. MAIN ST
 PROPOSED 3-UNIT
 1/4" = 1' 0"

EXHIBIT **F5**

SEAM PROPERTIES
104 S. MAIN ST
PROPOSED 3 UNIT
1" = 10"

PARTING WALL DETAIL
1" = 10"



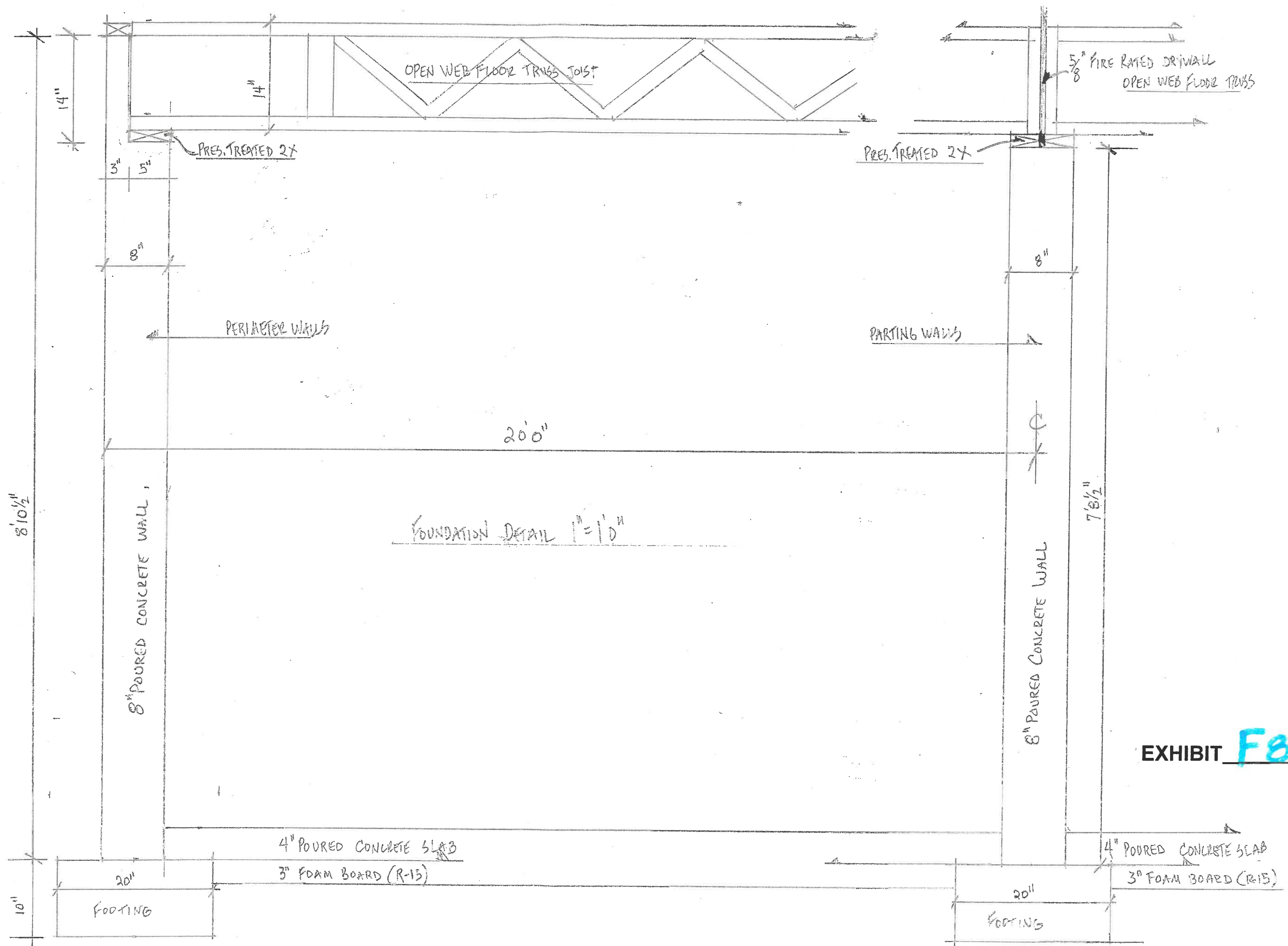


EXHIBIT **F8**









SEAM Properties

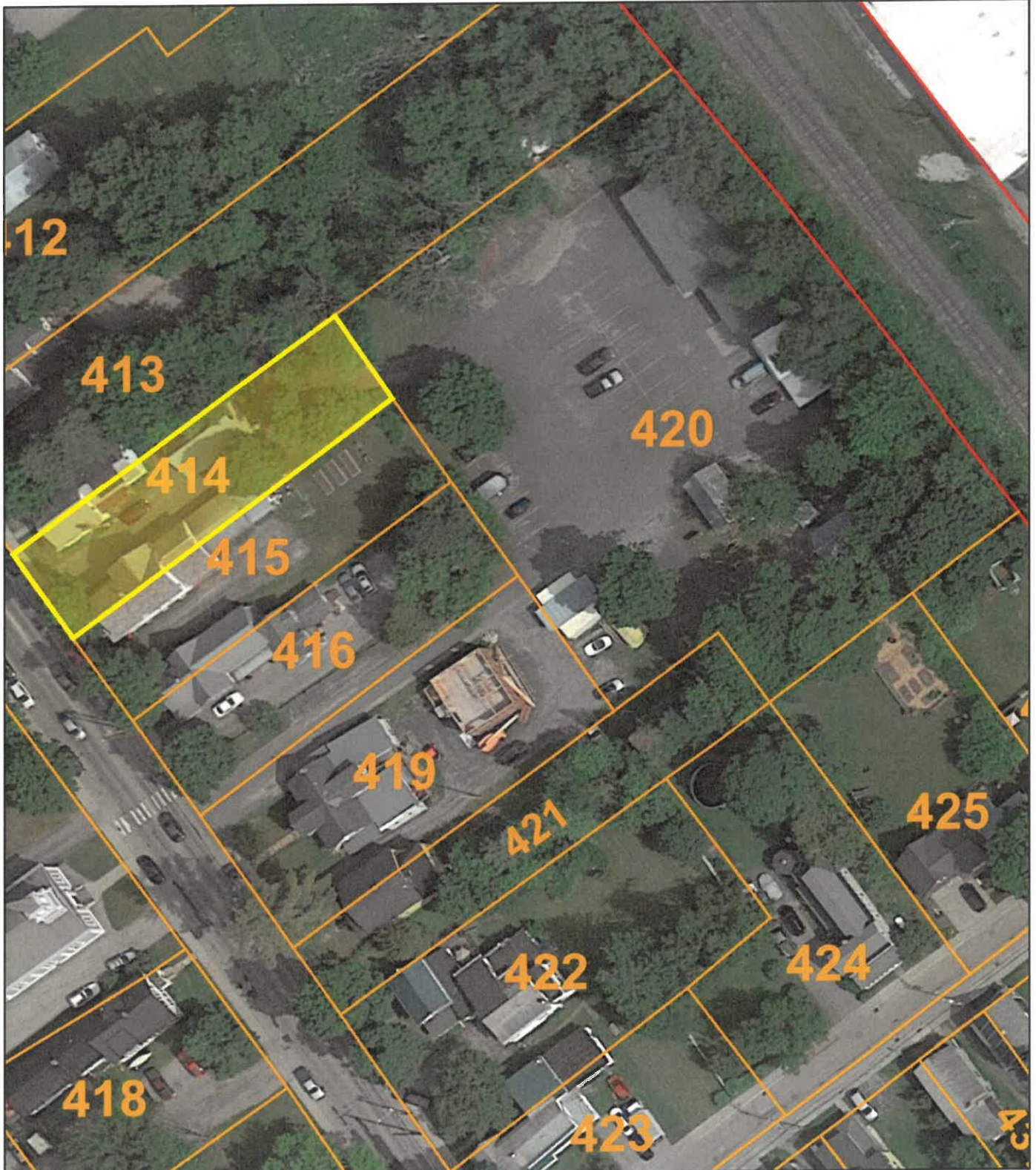
Waterbury, VT

1 inch = 67 Feet

September 22, 2021



EXHIBIT H



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